

RIVERVIEW PLANNING ADVISORY COMMITTEE

STAFF REPORT

Subject : Conditional use application with parking variance

File number: 24-1908

Meeting Date: Wednesday, February 12, 2025

From :



Sam Gerrand
Planner

Reviewed by :



Lori Bickford
Planning Manager/Planner

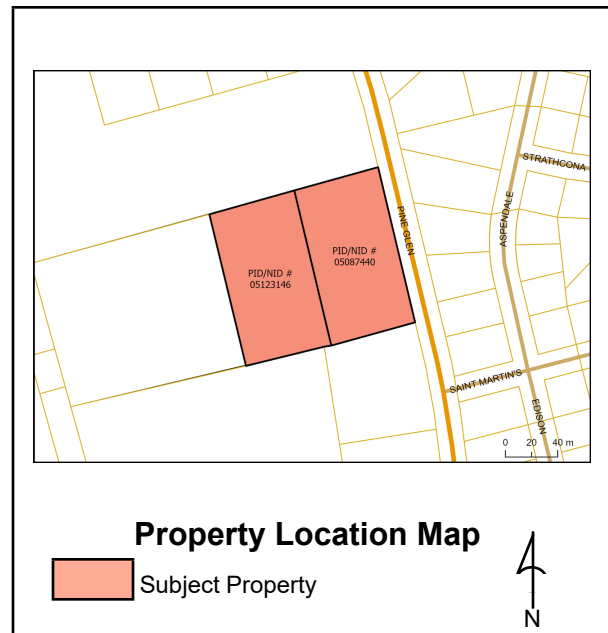
GENERAL INFORMATION

Applicant/: Jamie Shea Sheaco Management

Landowner : Sheaco Management

Proposal:

Conditional Use application to permit the development of a office building with attached 2 story indoor storage facility and 10 new mini storage warehouses. A parking variance is requested to reduce the required parking from 100 stalls to 35 stalls.



SITE INFORMATION

Location: Pine Glen Road, Town of Riverview

PID: 05123146, 05087440

Lot Size: 1.6 ha

Current Use: Industrial (mini storage) and vacant land

Zoning: SC and I

Future Land

Use:

Surrounding

Use & Zoning: Suburban Commercial and Industrial, Industrial parcel to the north

Municipal

Servicing: Municipal services are available along Pine Glen Road

Access/Egress: Access is provided along Pine Glen Road.

Municipal Plan Policies

Suburban Commercial

Policy 7.1.1 It shall be the intention of Council to recognize and foster development of retail and service outlets serving the suburban portions of the Town by establishing the Suburban Commercial (SC) Zone within the Commercial Designation.

Policy 7.1.3 Notwithstanding policy 7.1.1, it shall be the intention of Council to direct the Committee to permit automotive related businesses that may have significant traffic implications, such as drive thru restaurants and other drive thru businesses, service stations, car washes or any development within the Suburban Commercial Zone containing more than 1,500 square metres of gross floor area, and additions thereto, subject to imposition of terms and conditions.

Furthermore, it shall be the intention of Council to direct the Committee, in considering the imposition of terms and conditions, to have the utmost planning regard for the following:

- (a) estimated traffic generated by the proposal and its effect upon public street systems;
- (b) adequacy of the proposed site plan in respect to parking, pedestrian access, aisles, fire lanes, loading and delivery areas and on-site circulation systems;
- (c) adequate provision of landscaping;
- (d) location, size and design of driveways and appropriateness of traffic lights at driveways; and
- (e) provisions contained in policy 13.1.10; and
- (f) such other matters as Council deems advisable.

Industrial

Policy 8.1.2 Furthermore, Council shall instruct the Committee that when considering the imposition of terms and conditions, the Committee shall have regard for the following:

- (a) the finishing materials and the architectural details proposed;
- (b) the siting of the proposed structure;
- (c) the orientation of the building as it relates to the street and surrounding public realm;
- (d) the design of the proposed development in terms of:
 - i. building height and massing,
 - ii. setbacks and spatial separation,

- iii. roof type and pitch;
- (e) the location and access to off-street parking and the design of the parking lot layout;
- (f) the landscaping that is proposed, including efforts to preserve the existing vegetation by minimizing tree and soil removal;
- (g) provisions for adequate site grading with respect to the impact on neighbouring properties;
- (h) the location and screening of service areas; and
- (i) availability and adequacy of municipal services.

Zoning Bylaw and or Subdivision By-law Regulation

Zoning Bylaw

30(2) Despite subsection (1), except for the R1, R1-C and R2 Zone, the Planning Advisory Committee may permit, subject to any terms and conditions, more than one main building on a lot.

62 A permitted use within a SC Zone and CM Zone occupying more than 1,500 square metres in gross floor area shall be considered a particular purpose subject to terms and conditions.

104 In accordance with section 7, Table 12.1 identifies the land uses permitted within each commercial zone:

...

Suburban Commercial zone allows a Mini-storage warehouse as a conditional use

107 In accordance with section 7, Table 13.1 identifies the land uses permitted within each industrial zone:

...

Industrial zone allows a Mini-storage warehouse as a permitted use

Industrial zone allows a Office use as a permitted use

Internal Consultation & External Consultation

The application was discussed with the Development Review Committee (Planning, CAO/Clerk, Engineering, Economic Development, Parks, and Fire Department). A clarification was made about the location of a drainage swale and the landscaping buffer, which appeared to conflict with each other. The applicant has since confirmed that both features are able to be located between the proposed buildings and the south and west property line as marked on the plans. No further concerns were raised.

Discussion

The applicant is proposing an expansion to *I Store It*, an existing self storage business at 517 Pine Glen Road. The expansion entails a new one story office building with attached two story indoor storage facility and 10 separate mini-storage warehouses.

I Store It is at the north end of one of Riverview's main commercial nodes, Findlay Park. This area has seen rapid growth in recent years with the development of new big box suburban commercial development (such as the new Kent) and recent development of multi-unit residential buildings, including two multi-unit buildings which received building permits directly south of the subject property in 2024.

The subject property has split zoning with the front portion of the lot zoned Industrial (I) and the rear portion of the lot zoned Suburban Commercial (SC). A lot directly abutting the subject property to the north is also zoned I, the land in Findlay Park to the west and south is primarily vacant and zoned SC, and there is an existing R1 neighborhood separated from the subject property by Pine Glen Road to the east.

The existing mini-storage warehouses on the Industrial portion of the property underwent a conditional use request to have more than one building on the lot in 2012. In the fall of 2024, the applicants obtained a building permit to build 3 additional mini-storage warehouses on the I portion of the lot and complete the final phase of the project approved by the 2012 PAC decision.

The new expansion proposed by the applicant is located on both the Industrial and Suburban Commercial portions of the lot. The office and attached indoor storage facility are proposed on the front portion of the lot, and are permitted uses of the I zone. The proposed additional 10 mini-storage warehouses are located on the rear portion of the lot, zoned SC, and are a conditional use of the zone. Additionally a conditional use is required to allow multiple main buildings on a lot and to permit a commercial space larger than 1,500 sqm on the SC portion of the lot.

The applicant has provided a 3m landscaping buffer along the south and west property lines. This exceeds what is required by the Zoning By-law but is seen by planning staff as an important element of the site design given the ongoing residential development in this area which is likely to abut the subject property. A parking variance is also required for the proposal but otherwise all other requirements of the Zoning By-law are met in the applicant's proposal.

Parking Variance

Required parking stalls are calculated according to Schedule D of the Zoning By-law, which breaks down the number of required parking stalls by land use. Storage is not a use listed in the table, nor are the parking requirements for a storage use addressed elsewhere in the by-law, so the required stalls

are calculated based on a generic 3.5 stalls per 100 sqm. As per this ratio, the gross floor area of the storage use would require an additional 95 parking stalls to be provided. The office use has a separate parking ratio and would require 5 parking stalls. In total, 100 parking stalls are required to satisfy the by-law, but only 35 are provided in the applicant's proposal. A variance to reduce the number of parking stalls from 100 to 35 stalls is requested.

A variance must be within the intent of the Municipal Plan and Zoning By-law, reasonable, and desirable for the development of the land. As indicated by Policy 7.1.3 in the Municipal Plan, the conditional use process, and the discretion of the Committee, is intended to provide input on the adequacy of traffic circulation and parking with regards to large (1,500 sqm or larger) commercial projects. Given that the storage use is expected to have intermittent customers, most of the daily traffic flow is expected at the office building where people may work and visit on a daily basis. The proposal provides 8 parking stalls for the office use, exceeding the required 5 parking stalls.

The remaining 27 parking stalls are intended to service the mini-storage warehouses, and are clustered through the site. Typically, a land use by-law might have an exemption clause for storage use, recognizing that while the gross floor area of a development can be quite significant, this does not always translate to high volumes of traffic. In Riverview, there is no exemption clause for required parking for storage uses. Staff believe that because the storage use is not expected to have daily customers (such as a retail or other commercial uses) the 35 parking stalls will be adequate for the site and the intention of the Municipal Plan to secure adequate traffic circulation and parking at the site is met. Additionally, the site is to be paved which will allow self storage customers access to storage units throughout the site by vehicle. Requiring an additional 65 parking stalls would substantially increase the impervious area of the site, reduce density, and would not be desirable for the development of the land.

Public Notice

Public Notice was sent to Landowners within 60m of the subject property on January 29th.

Legal Authority

Community Planning Act

Conditional uses

53(3) In prescribing the purposes for which land, buildings and structures in a zone may be used, a

zoning by-law may: ...

(c) prescribe particular purposes ...

(i) in respect of which the advisory committee or regional service commission, subject to subsection (5), may impose terms and conditions, and

(ii) that may be prohibited by the advisory committee or regional service commission if compliance with the terms and conditions imposed under subparagraph (i) cannot reasonably be expected.

The Act also provides parameters for the PAC when imposing conditions:

53(4) Terms and conditions imposed under paragraph (3)(c) shall be limited to those considered necessary by the advisory committee or regional service commission to protect:

(a) properties within the zone or in abutting zones, or

(b) the health, safety and welfare of the general public.

The Act also provides authority of the PAC to grant variances to the Zoning By-law:

55(1) Subject to the terms and conditions it considers fit, the advisory committee or regional service commission may permit

(b) a reasonable variance from the requirements referred to in paragraph 53(2)(a) of a zoning by-law

if it is of the opinion that the variance is desirable for the development of a parcel of land or a building or structure and is in keeping with the general intent of the by-law and any plan under this Act affecting the development.

53(20(a)(xi) of the Act states “the facilities to be provided and maintained for off-street parking and loading of vehicles”

Recommendation

Item 1 Staff recommend that the Riverview Planning Advisory Committee APPROVE the conditional use in the SC zone on PID 05123146 to permit the development of 10 mini-storage warehouses buildings subject to the following conditions:

(1) That a 3m wide landscaping buffer is provided along the south and west property lines as shown on the attached site plan.

(2) That development proceed in substantial conformity with the attached site plan.

(3) That as-built drawings for engineering submissions shall be required within 30 days after construction.

Item 2 Staff recommend that the Riverview Planning Advisory Committee APPROVE the conditional use application for multiple buildings on a lot on PID 05123146, 05087440 to permit the development of an office building with attached 2 story storage warehouse and 10 mini-storage warehouses buildings subject to the following conditions:

- (1) That a 3m wide landscaping buffer is provided along the south and west property lines as shown on the attached site plan.
- (2) That development proceed in substantial conformity with the attached site plan as well as building and elevation drawings.
- (3) That as-built drawings for engineering submissions shall be required within 30 days after construction.

Item 3 Staff recommend that the Riverview Planning Advisory Committee APPROVE the conditional use application for a commercial use greater than 1,500 square meters on PID 05123146, 05087440 to permit the development of an office building with attached 2 story storage warehouse and 10 mini-storage warehouses buildings subject to the following conditions:

- (1) That a 3m wide landscaping buffer is provided along the south and west property lines as shown on the attached site plan.
- (2) That development proceed in substantial conformity with the attached site plan as well as building and elevation drawings.
- (3) That as-built drawings for engineering submissions shall be required within 30 days after construction.

Item 4 Staff recommend that the Riverview Planning Advisory Committee APPROVE the proposed variance to reduce the number of required parking stalls from 100 stalls to 35 stalls as per the attached site plan.

Pine Glen Road (PID/NID 05123146 & 05087440)

Riverview

Date: 1/9/2025



Zoning map



PINE GLEN ROAD

Riverview

R1

24-1701

SC

I

20-2159

541

Aerial Imagery - GeoNB



517

128

132

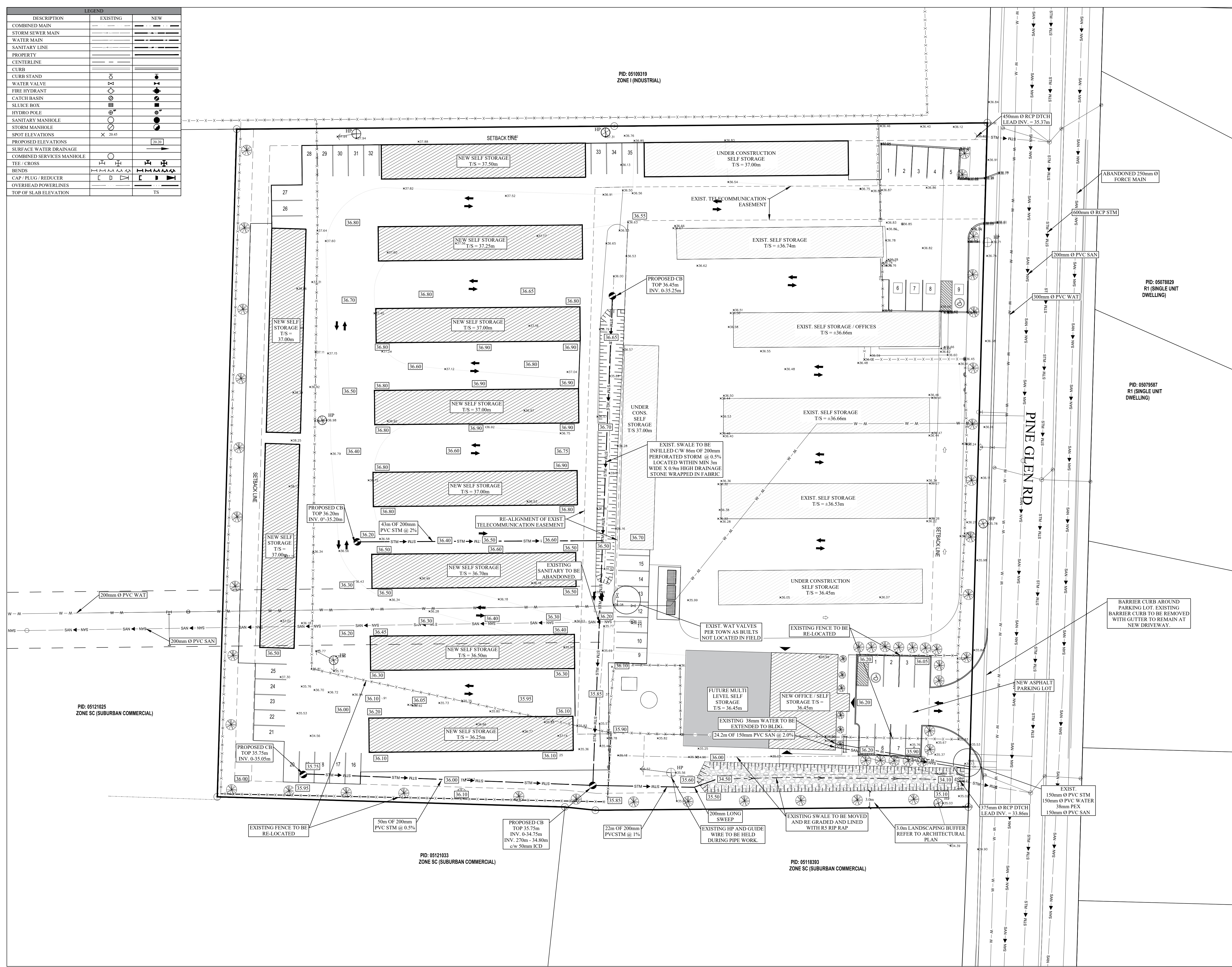
136

140

541

50

LEGEND		
DESCRIPTION	EXISTING	NEW
COMBINED MAIN	---	---
STORM SEWER MAIN	---	---
WATER MAIN	---	---
SANITARY LINE	---	---
PROPERTY	---	---
CENTERLINE	---	---
CURB	---	---
CURB STAND	---	---
WATER VALVE	---	---
FIRE HYDRANT	---	---
CATCH BASIN	---	---
SLUICE BOX	---	---
HYDRO POLE	---	---
SANITARY MANHOLE	---	---
STORM MANHOLE	---	---
SPOT ELEVATIONS	X 20.45	20.20
PROPOSED ELEVATIONS		20.20
SURFACE WATER DRAINAGE	---	---
COMBINED SERVICES MANHOLE	---	---
TEE / CROSS	---	---
BENDS	---	---
CAP / PLUG / REDUCER	---	---
OVERHEAD POWERLINES	---	---
TOP OF SLAB ELEVATION		TS



SCALE - METERS 1: 5000

- Notes:
- All work is to conform to the Town of Riverview Standard Municipal Specifications, latest revision.
 - Contractor required to locate all existing services and confirm invert elevations with engineer.
 - All elevations are in reference to NB geoidetic datum 28155 Elevation = 47.16m (NAD83/HT2_0).
 - Full time inspection by the engineering design firm is recommended for the installation of all underground infrastructure.
 - A lateral service hook-up by the Town's public works department is required prior to backfilling the lateral connections to the mainlines.
 - Record drawings to be submitted to the public works department following construction.
 - Gutter is to be kept through proposed driveway. Existing barrier curb at driveway is to be grinded down and sidewalk depressed.
 - Barrier curb to be installed around the perimeter of the parking lot as shown.

- Erosion Control:
- All work is to follow the Town of Riverview Guidelines for Erosion and Sediment Control at Construction Sites.
 - During work on the site, the following items must be completed:
 - Situation fence must be erected around the perimeter of the disturbed area prior to start of construction, and routinely monitored throughout project.
 - Storm drain inlet protection must be installed immediately following the installation of underground structures. The inlet protection must be maintained and not removed until landscaping and asphalt surface is completed.
 - Contractor is responsible for dust control, mud and dirt removal on Pine Glen Road. A stabilized entrance/exit complete with clear stone/gravel is recommended to help prevent tracking of mud & dirt onto Pine Glen Road if the existing driveway is not used during construction.

No.	Issue	Date
1	FOR TOWN OF RIVERVIEW APPROVAL	JAN. 2024
2		
3		



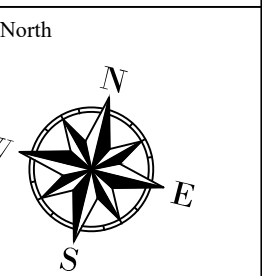
40 Fairfield Road
Lower Coverdale, New Brunswick E1J 0A2
Phone: 506-863-1991
Email: michael@fisherengineeringltd.com

Project Title
**1 STORE IT EXPANSION
517 PINE GLEN ROAD
RIVERVIEW, N.B.**

Drawing Title
**PRELIMINARY SITE
SERVICING & GRADING
PLAN**

Project No. **DS085**
Dwg. No. **DS08506R0**

Scale: 6 0 6 12 18
SCALE - METERS 1: 300



Const. North
Drawn By: **AF**
Designed By: **MJF**
DWG. Design Ckd. By: **MJF**
Drawing Number: **C-1**



**Preliminary
"Not For Construction"**

ISSUE	DESCRIPTION	DATE

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Rev.#	Description	Date

Stamp

Architectural Designer:
 171 Lutz Street, Moncton, NB E1C 5E8 Bus: (506) 855-3777
Client:
Sheaco Management Inc
Project:
NEW OFFICE BUILDING 517 Pine Glen Rd. Riverview, NB
Drawing Title:
SCHEMATIC SITE PLAN
Date:
December 17, 2024
Checked by:
DM / SB
Drawn by:
FA
Scale:
AS NOTED
Sheet:
A1
Flight no:
4592



SCHEMATIC SUMMARY	
LOT INFO	
PID:	05087440
Physical Address:	517 Pine Glen Rd., Riverview, NB.
Lot Area:	16193 m² / 174300 ft²
Current Zoning:	I (INDUSTRIAL ZONES)
Proposed Zoning:	I (INDUSTRIAL ZONES)
Landscaping Requirement:	1 tree or shrub for each 93 m²
Max Lot Coverage:	50%
Lot Coverage:	24.7%
PARKING	
Required Parking:	147
Required Parking Ratio / Unit:	1 per 50 m² Gross Area (Office Use) 3.5 per 100 m² gross area (Storage)
Required Bicycle Parking:	5
Provided Parking:	35 New, 9 Existing
Barrier Free Parking:	2
Total Parking:	44
Bicycle Parking:	5
BUILDING INFO (OFFICE BLDG.)	
Building Footprint:	210 m² / 2 261 ft²
Storeys:	1
Building Height:	6.30 m
Max Allowable Height:	11 m
Construction:	Combustible
Min. Geodetic Elevation:	10.5 m
BUILDING INFO (STORAGE BLDGS.)	
Building Footprint (Total):	4047 m² / 43 566 ft²
Storeys:	1
Building Height:	3 m
Max Allowable Height:	11 m
Construction:	Combustible
Min. Geodetic Elevation:	10.5 m
MATERIAL	
Material Requirement 1:	-
REQUIRED VARIANCE	
Variance 1:	Reduced Required Parking
Variance 2:	Multiple building on a lot

Disclaimer: This preliminary schematic site plan is based on site information provided by the client, or found on a public domain. This site plan is a graphical representation which approximates the size, configuration and location of features. This plan is not intended to be used for legal descriptions or to calculate exact dimensions or areas. Several yet unknown factors may affect the functionality of this plan, including existing topography, service easements, soil conditions, etc.

LEGEND OF SYMBOLS	
	PROPERTY LINE, DEVELOPMENT LIMITATIONS
	2m TALL CHAIN LINK FENCE COMPLETE WITH PVC PRIVACY SLATS, ALL GATES AND DOORS WITHIN FENCE TO CONTAIN PVC PRIVACY SLATS
	PAINTED BARRIER FREE PARKING SYMBOL
	BUILDING EGRESS LOCATION
	HYDRO POLE
	ASPHALT PAVEMENT

1 SCHEMATIC SITE PLAN
1 : 300



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Client: **Sheaco Management Inc**

Project: **NEW OFFICE BUILDING**
517 Pine Glen Rd.
Riverview, NB

Drawing Title: **SCHEMATIC FLOOR PLAN**

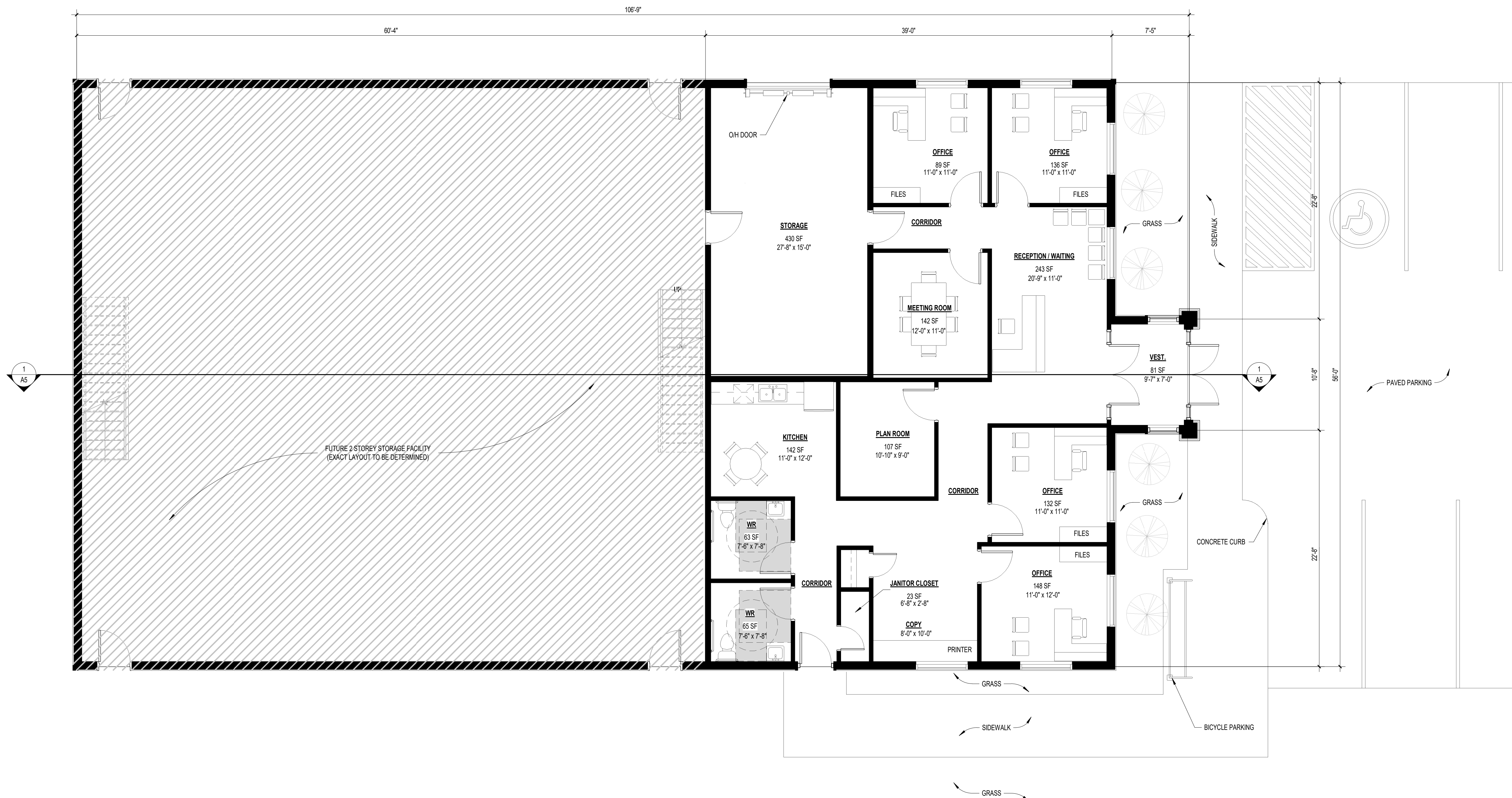
Date: December 17, 2024

Checked by: DM / SB

Drawn by: FA Revision: 00

Scale: AS NOTED

Sheet: **A2** Flight no: 4592



1 SCHEMATIC FLOOR PLAN
3/16" = 1'-0"



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Client: **Sheaco Management Inc**

Project: **NEW OFFICE BUILDING**
517 Pine Glen Rd.
Riverview, NB

Drawing Title: **SCHEMATIC ELEVATIONS**

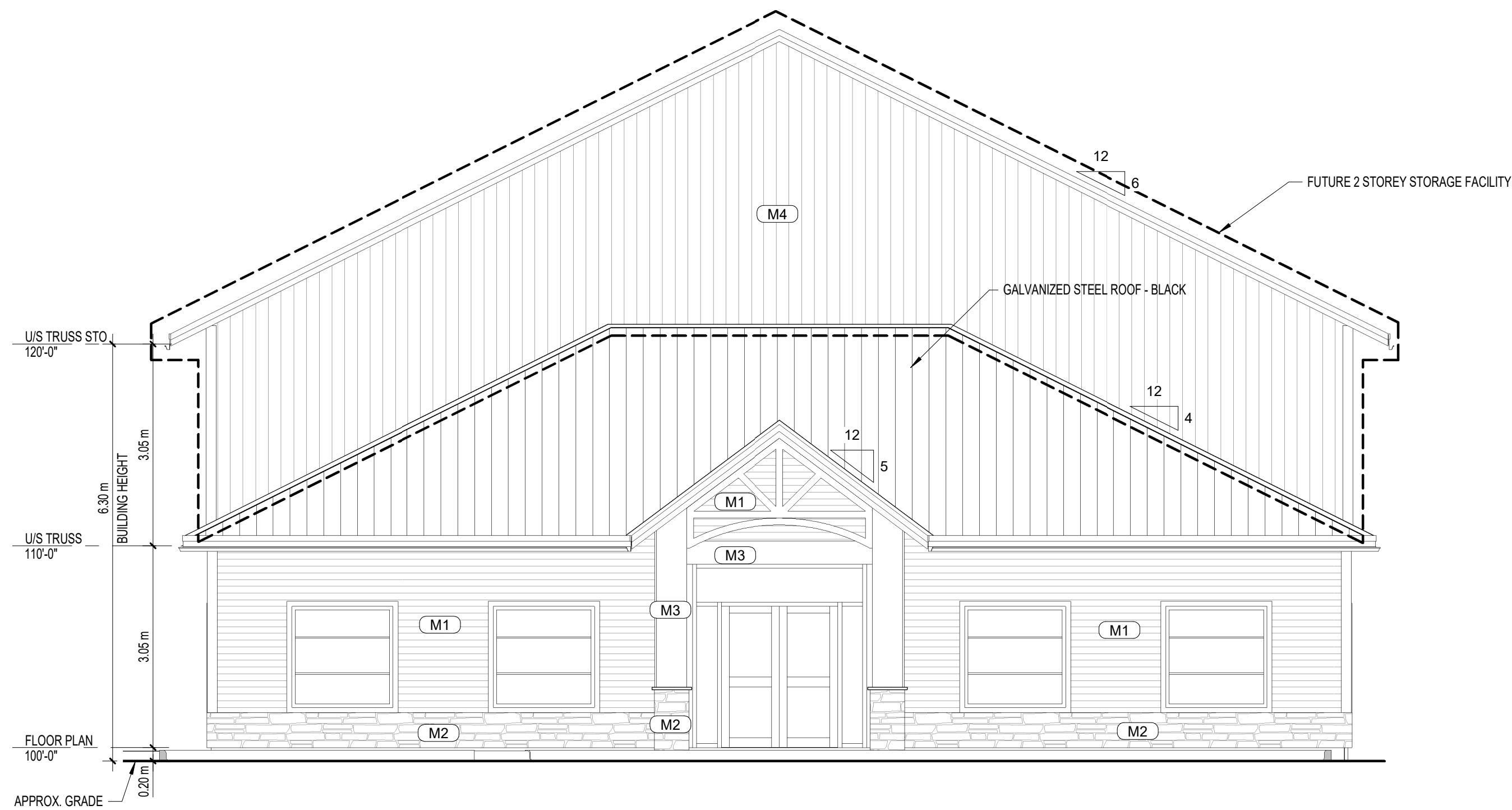
Date: **December 17, 2024**

Checked by: **DM / SB**

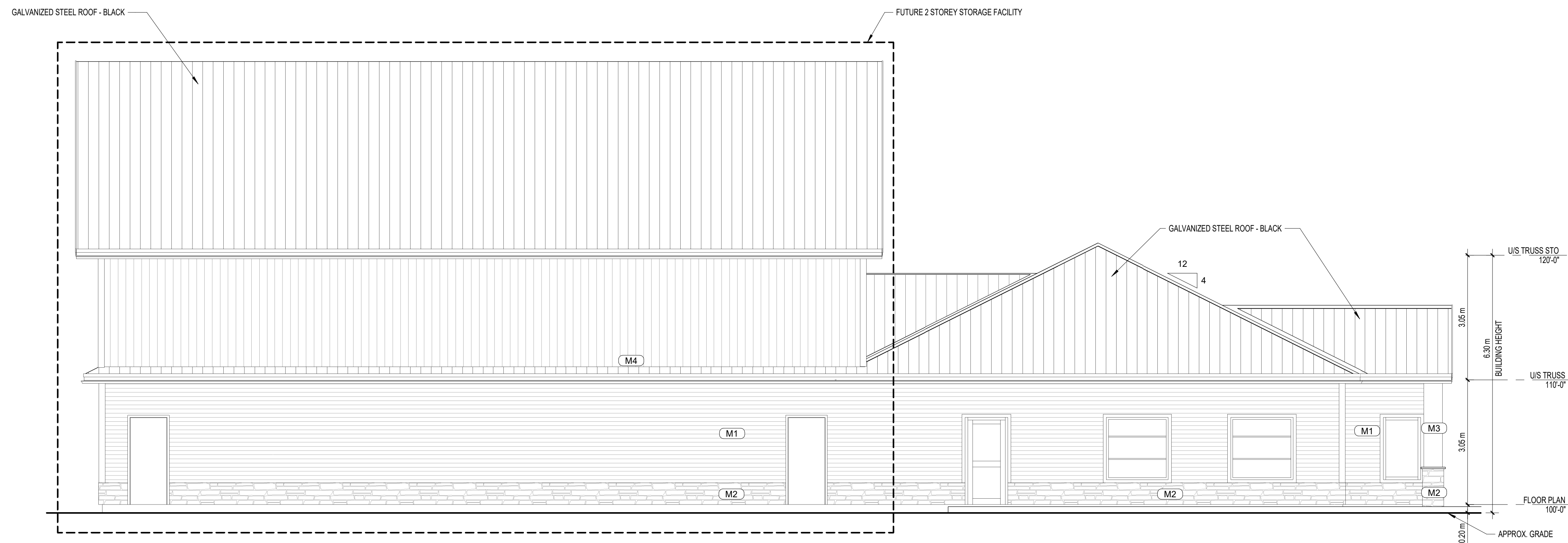
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1 ELEVATION 1
3/16" = 1'-0"



2 ELEVATION 2
3/16" = 1'-0"

MATERIALS:
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MATERIALS MANUFACTURER AND COLORS SHOWN IN THIS LEGEND ARE THE BASIS OF THIS DESIGN. FINAL MATERIAL MANUFACTURER AND COLOR ARE SUBJECT TO ARCHITECT REVIEW AND OWNER APPROVAL.

- M1 - WOOD SIDING-HORIZONTAL-BROWN
- M2 - GREY CULTURED STONE
- M3 - DARK BROWN WOOD PANELS
- M4 - METAL SIDING-VERTICAL-BLACK



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Riverview, NB

Drawing Title: **SCHEMATIC ELEVATIONS**

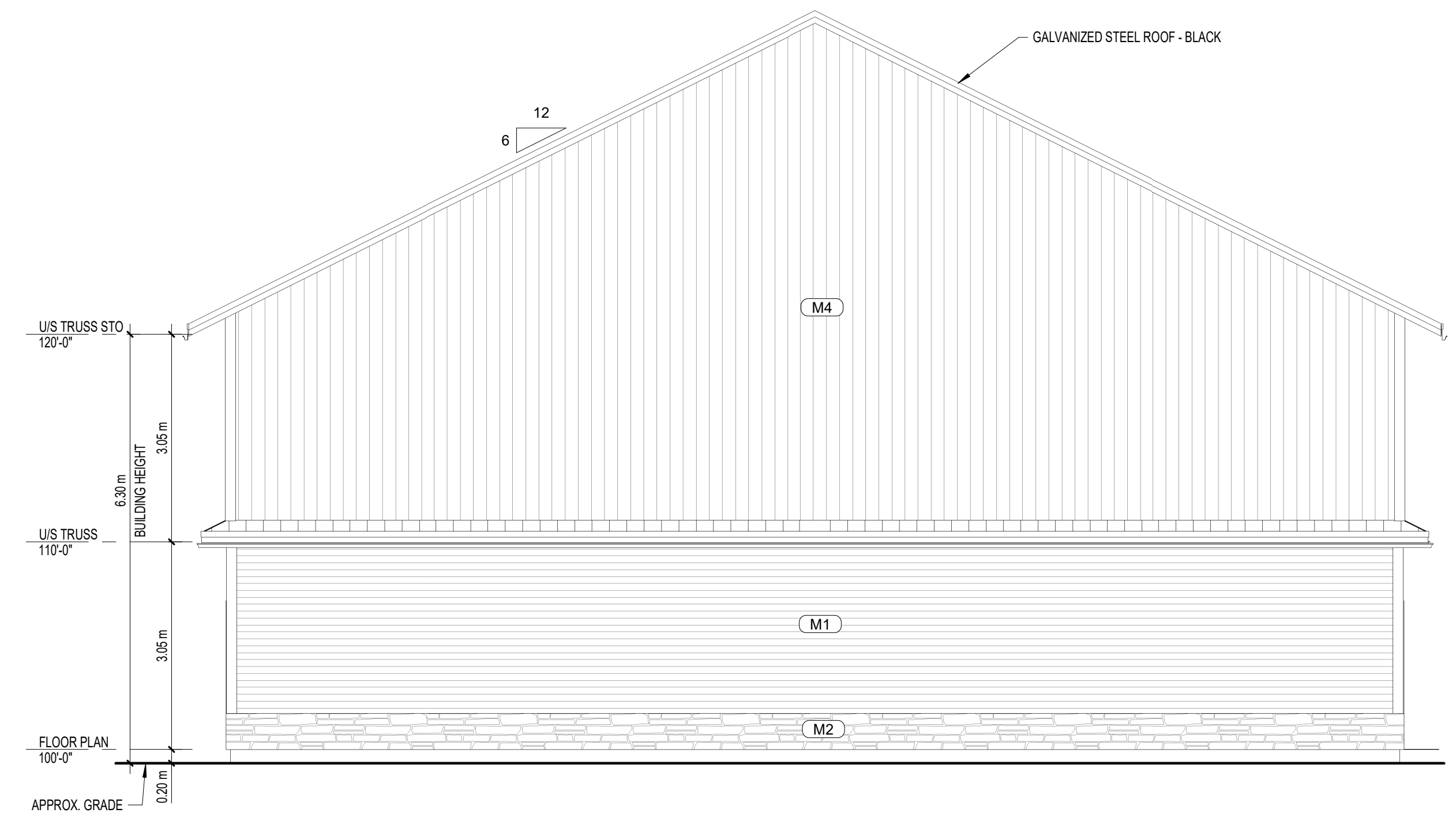
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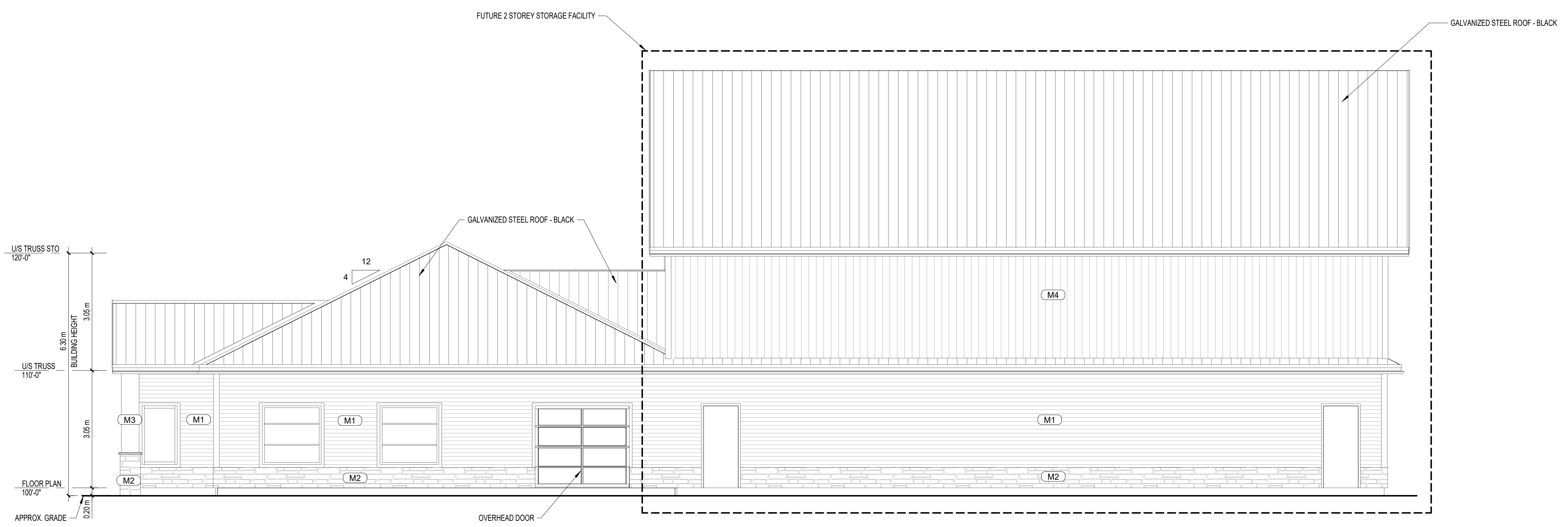
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1 ELEVATION 3
3/16" = 1'-0"



2 ELEVATION 4
3/16" = 1'-0"

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Stamp:



Client: **Sheaco Management Inc**

Project: **NEW OFFICE BUILDING**
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Riverview, NB

Drawing Title: **SCHEMATIC SECTION**

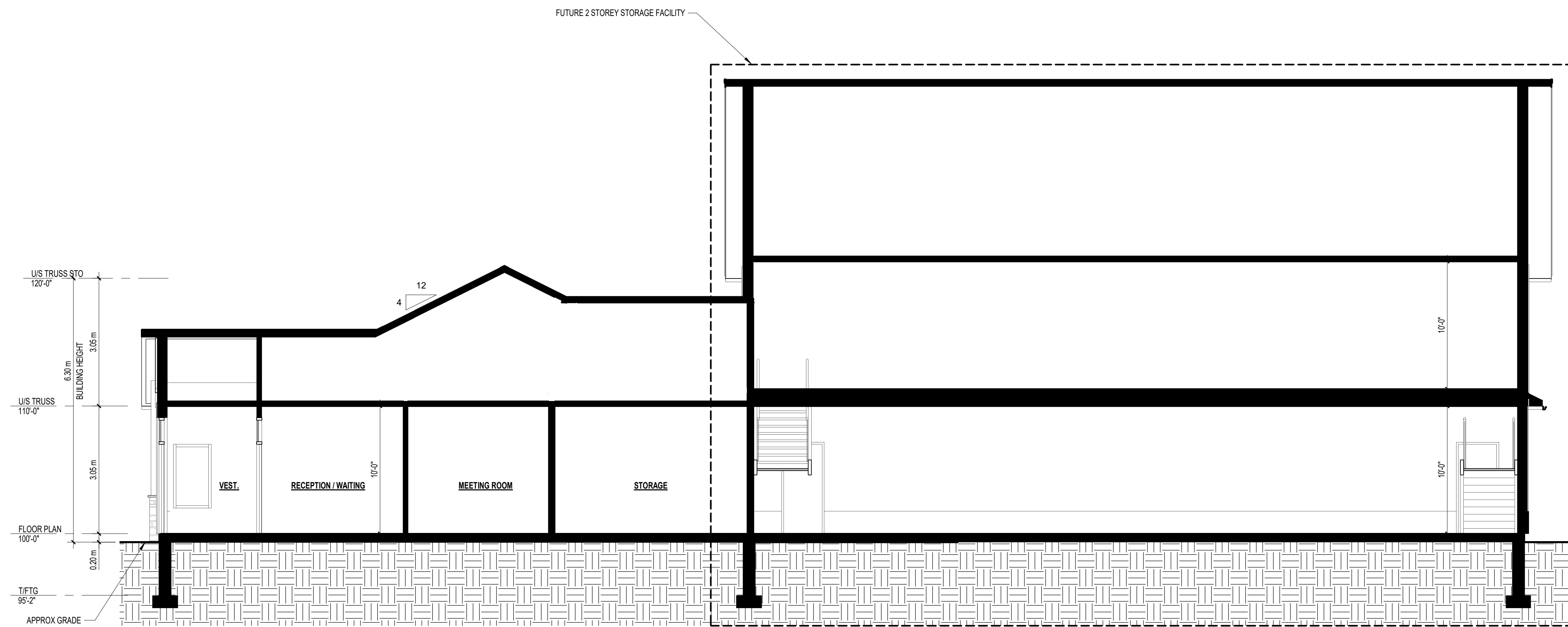
Date: December 17, 2024

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1 SCHEMATIC SECTION
3/16" = 1'-0"

STRUCTURAL NOTES

BUILDER / CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT PLANS AND SPECIFICATIONS COMPLY WITH APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITY.

METAL BUILDING STRUCTURE DESIGNED PER THE FOLLOWING LOADING:

- CODE: IBC 2018
- WIND: 111 MPH EXPOSURE C WINDLOAD
- ROOF LIVE LOAD: 20 PSF ROOF LIVE LOAD
- SEISMIC DESIGN CATEGORY (SDC): D / SEISMIC COEFFICIENT: 0.15
- GROUND SNOW LOAD: 70 PSF (MAX) GROUND SNOW LOAD
- ROOF SNOW LOAD: 58.8 PSF (MAX) ROOF SNOW LOAD
- COLLATERAL LOAD: 0.5 PSF (MAX) COLLATERAL LOAD

DESIGN LOADS DESIGNATED WITHIN CONTRACT AND DRAWINGS DO NOT ALLOW FOR ANY TYPE OF SUSPENDED SYSTEM (E.G. LIGHTS, INSULATION, DUCT WORK, PIPING, ETC.) GREATER THAN THE COLLATERAL LOAD SHOWN. SUSPENSION OF ANY LOAD INDUCING SYSTEM GREATER THAN 0.5 PSF IS EXPLICITLY PROHIBITED UNLESS A CORRESPONDING REDUCTION IN CERTIFIED LIVE/SNOW LOADS CAN BE PERMITTED BY CODE.

DESIGN AND SPECIFICATION OF BASE STEEL TO CONCRETE SLAB ANCHORING IS NOT THE RESPONSIBILITY OF THE BUILDING MANUFACTURER. WEDGE ANCHORS SUPPLIED WITH THE BUILDING PACKAGE ARE SUITABLE FOR MOST SELF STORAGE APPLICATIONS HOWEVER, THE FINAL FOUNDATION DESIGN (DEPTH, STRENGTH, MIX, ETC.) WILL DETERMINE ACTUAL ANCHOR REQUIREMENTS.

BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY FOR CONCRETE SLAB FOUNDATION DESIGN, THICKNESS, MATERIALS, SITE SOIL CONDITIONS OR OTHER CONCRETE/MASONRY CONSTRUCTION.

ALL STRUCTURAL CONNECTIONS ARE TO BE MADE PER FASTENING DETAILS PRESENTED HEREIN. ALL STEEL FRAMING AND SHEETING MATERIALS MUST BE INSTALLED TO VERTICAL PLUMB AND HORIZONTALLY LEVEL.

THE BUILDING MANUFACTURER AND THE PROFESSIONAL ENGINEER SEALING THESE DRAWINGS ARE NOT THE PROFESSIONAL ENGINEER OF RECORD FOR THE ENTIRE PROJECT. THE PROFESSIONAL ENGINEER'S SEAL PERTAINS ONLY TO THE STRUCTURAL DESIGN OF THE METAL BUILDING SYSTEM. IT DOES NOT APPLY TO THE FOUNDATION SYSTEM, MASONRY DESIGN OR ANY OTHER ASPECT OF THE PROJECT UNLESS SPECIFICALLY STATED IN THESE DOCUMENTS.



JOBSITE / FIELD CONDITIONS NOTES:

BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY FOR ANY LOADS TO STRUCTURE NOT INDICATED AT THE TIME OF PURCHASE. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, REMOVAL OF ANY COMPONENT PARTS OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE DIRECTION OF REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER.

ALL CONCRETE AND MASONRY CONSTRUCTION MUST BE FLAT, LEVEL AND SQUARE PER THE SLAB PLAN DIMENSIONS HEREIN.

ALL JOBSITE DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BEFORE ERECTION OF BUILDING STRUCTURE.

ALL OMISSIONS, CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE BUILDING MANUFACTURER BEFORE PROCEEDING WITH PROJECT WORK.

ALL TEMPORARY SUPPORTS SUCH AS GUYS, BRACES, FALSEWORK, CRIBBING, WINDBRACES OR OTHER ELEMENTS REQUIRED FOR THE BUILDING ERECTION ARE TO BE DETERMINED BY AND SUPPLIED BY BUILDER/CONTRACTOR.

BUILDING MANUFACTURER HAS MADE A COMMITMENT TO MANUFACTURE QUALITY BUILDING COMPONENTS THAT CAN BE SAFELY ERECTED. JOB SITE SAFETY INSTRUCTION, SAFETY EQUIPMENT AND CONDITIONS ARE THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR.

ALL COMPONENTS SHIPPED SHALL BE THOROUGHLY INSPECTED AND ACCOUNTED FOR AT THE TIME OF DELIVERY. ALL MATERIAL SHORTAGES OR DEFECTS MUST BE REPORTED WITHIN FIVE (5) WORKING DAYS OF MATERIAL DELIVERY TO THE BUILDING MANUFACTURER.

THE DIAPHRAGM SUPPORT OF THE INTERIOR PARTITION PANELS CONTRIBUTE TO THE STABILITY OF THE BUILDING BY TRANSFERRING LATERAL LOADS TO VERTICAL RESISTING MEMBERS. ANY MODIFICATION OR UNAUTHORIZED CUTTING OF INTERIOR PARTITION PANELS IS EXPRESSLY PROHIBITED BY THE BUILDING MANUFACTURER.

INSTALLATION NOTES:

FIELD CUTTING OF STRUCTURAL, SHEETING AND TRIMS FOR SPLICE AND FINAL FITTING OF COMPONENTS IS REQUIRED.

ALL ROOF PANEL LAPS SHALL BE SEALED WITH 3/8" (MINIMUM) WIDTH MASTIC TAPE AS PROVIDED FOR PROJECT. ALL SHEET PROFILE FOAM CLOSURES AT EAVE, WALL AND RIDGE CONDITIONS AS PROVIDED FOR PROJECT MUST BE INSTALLED AS SHOWN HEREIN.

WALL PANELS AND WALL TRIMS, AT INTERIOR AND EXTERIOR, ARE TO BE SET WITH 1/4" CLEARANCE ABOVE CONCRETE SURFACES AND AT ANY LOCATIONS WHICH MAY BE SUBJECTED TO CONTACT WITH STANDING WATER.

LAP ALL FLASHINGS 2" MINIMUM AND SEAL AS REQUIRED FOR WATER TIGHTNESS

ALLOW 1/4" TOLERANCE AT EACH END FOR HEADERS AND GIRTS.

DRAWING INDEX

1	LEAD SHEET, GENERAL NOTES, SCHEDULES, KEY PLAN
2	SLAB PLAN, ELEVATIONS
3	FLOOR PLAN, FRAMING PLAN
4	PARTITION PLAN, ROOF PLAN
5	DETAILS
6	DETAILS
7	DETAILS

STANDARD ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	FT	FOOT OR FEET	REOD	REQUIRED
APPROX	APPROXIMATE	FTG	FOOTING	REINF	REINFORCED
BLDG	BUILDING	GA	GAUGE	RO	ROUGH OPENING
BLK	BLOCK	GALV	GALVANIZED	SECT	SECTION
BOT	BOTTOM	GC	GENERAL CONTRACTOR	SF	SQUARE FOOTAGE
C/L	CENTRLINE	GRND	GROUND	SIM	SIMILAR
CLG	CEILING	GR	GRADE	SQ	SQUARE
COL	COLUMN	GWB	GYPSSUM WALL BOARD	STD	STANDARD
CONC	CONCRETE	HORIZ	HORIZONTAL	STL	STEEL
CTR	CENTER	HT	HEIGHT	TOB	TOP OF BEAM
DBL	DOUBLE	INSUL	INSULATION	TOC	TOP OF CONCRETE
DET	DETAIL	INT	INTERIOR	TOS	TOP OF STEEL
DIA	DIAMETER	INFO	INFORMATION	TOW	TOP OF WALL
DWG	DRAWING	JT	JOINT	TS	TUBE STEEL
DR	DOOR	MAX	MAXIMUM	TYP	TYPICAL
EA	EACH	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION	MISC	MISCELLANEOUS	VAR	VARIES
EXIST	EXISTING	MTL	METAL	VERT	VERTICAL
EXP	EXPANSION	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
EXT	EXTERIOR	NTS	NOT TO SCALE	WO	WITHOUT
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	NA	NOT APPLICABLE	WT	WEIGHT
EOS	EDGE OF SLAB	NO	NUMBER		
FBO	FURNISHED BY OTHERS	OA	OVERALL		
FDN	FOUNDATION	OC	ON CENTER		
FF	FINISHED FLOOR	OH	OPPOSITE HAND		
FOB	FACE OF BLOCK OR BRICK	OPP	OPPOSITE		
FOS	FACE OF STEEL	PTN	PARTITION		
		RAD	RADIUS		
		REF	REFERENCE		

FASTENER ABBREVIATIONS

(F1)	- 3/8" x 3" CONC. SCREW ANCHOR	-	BASE TO SLAB CONNECTIONS
(F2)	- 12 X 1 SELF-DRILLING TEK (PLTD)	-	STRUCTURAL STEEL CONNECTIONS
(F2)	- 12 X 1 SELF-DRILLING TEK (PLTD)	-	PARTITION SHEETING
(F4)	- 12 X 2 SELF-DRILLING TEK (PLTD)	-	PARTITION ANGLE CONNECTIONS
(F5)	- 12 X 1 1/4 WASHER TEK (PTD)	-	EXTERIOR WALL SHEETING
(F6)	- 12 X 1 1/4 WASHER ZAC (PTD)(PLTD)	-	ROOF SHEETING
(F7)	- 12 X 1 1/4 WASHER TEK (PTD)	-	EXTERIOR TRIM DRILLER
(F8)	- 12 X 7/8 WASHER TEK (PTD)	-	EXTERIOR WALL PANEL LAP
(F9)	- 12 X 7/8 WASHER ZAC (PTD)(PLTD)	-	ROOF PANEL LAP
(F10)	- 12 X 7/8 WASHER TEK (PTD)	-	EXTERIOR TRIM LAP
(F11)	- 1/8 POP RIVET	-	EXTERIOR TRIM
(F13)	- 12 X 1 1/4 WASHER TEK (PTD)	-	INTERIOR WALL SHEETING
(F13)	- 12 X 1 1/4 WASHER TEK (PTD)	-	INTERIOR TRIM DRILLER
(F14)	- 12 X 7/8 WASHER TEK (PTD)	-	INTERIOR WALL PANEL LAP
(F14)	- 12 X 7/8 WASHER TEK (PTD)(PLTD)	-	INTERIOR TRIM LAP
(F17)	- 1/4"-14 X 1" SDS W/ WASHER #1(PLTD)	-	"CL" CLIP/STRUCTURE CONNECTIONS
(F18)	- 1/4"-14 X 1 1/4" SDS ZAC W/WASHER #1E(PTD)(PLTD)	-	"CL" ROOF DRILLER
(F19)	- 14 X 7/8" SDS ZAC W/ WASHER #4(PTD)(PLTD)	-	"CL" ROOF LAP
(F20)	- 1/4"-14 X 1 1/4" SDS ZAC W/WASHER #1E(PTD)(PLTD)	-	"CL" TRIM DRILLER
(F21)	- 14 X 7/8" SDS ZAC W/WASHER #4(PTD)(PLTD)	-	"CL" TRIM LAP

PURLIN ABBREVIATIONS

(P4)	-	Z42516R	2 1/2 X 4 X 2 1/2 X 16GA. ZEE	-	ROOF PURLIN
(P414)	-	Z42514R	2 1/2 X 4 X 2 1/2 X 14GA. ZEE	-	ROOF PURLIN

4" STRUCTURE ABBREVIATIONS

(BA)	-	B4216Z	4 X 2 X 16GA. ANGLE	-	FLOOR BASE ANGLE
(BC)	-	U42516Z	4 1/8 X 2 7/8" X 16GA. CHANNEL	-	FLOOR BASE CHANNEL
(C4)	-	C4216R	4 X 2 X 16GA. CEE	-	4" COLUMN
(C425)	-	C42514R	4 X 2 1/2 X 14GA. CEE	-	4" COLUMN
(C435)	-	C43516R	4 X 3 1/2 X 16GA. CEE	-	4" COLUMN
(DH)	-	C4216R	4 X 2 X 16GA. CEE	-	DOOR HEAD
(DU)	-	C43516R	4 X 3 1/2 X 16GA. CEE	-	DOOR JAMB
(EC)	-	U42514R	4 1/8 X 2 7/8" X 14GA. CHANNEL	-	EAVE CHANNEL
(ES)	-	E64316LR	4 X 6 X 3 X 16GA. STRUT	-	EAVE STRUT
(FC)	-	AS MANUFACTURED		-	FLOOR CLIP
(G)	-	C4216R	4 X 2 X 16GA. CEE	-	GIRT
(HA)	-	B4216R	4 X 2 X 16GA. ANGLE	-	HALL TOP ANGLE
(HR)	-	C4216R	4 X 2 X 16GA. CEE	-	DOOR HEAD REINFORCEMENT
(JR)	-	C62514R	6 X 2 1/2 X 14GA. CEE	-	RAFTER
(M)	-	C12416R	12 X 4 X 16GA. CEE	-	DOOR MULLION
(MC)	-	B5216R	5 X 2 X 2" LONG 16GA. ANGLE	-	MINI CLIP
(PA)	-	B4216R	4 X 2 X 16GA. ANGLE	-	PARTITION ANGLE
(RA)	-	B4216R	4 X 2 X 16GA. ANGLE	-	RAKE ANGLE
(RS)	-	E64316LR	4 X 6 X 3 X 16GA. STRUT	-	RIDGE STRUT

ERECTOR NOTE:
A DETAILED INSTALLATION GUIDE IS AVAILABLE AND SHOULD BE CONSULTED DURING THE ERECTION OF THIS BUILDING PACKAGE. PLEASE CONTACT US IF YOU HAVE NOT RECEIVED A COPY OF THE INSTALLATION GUIDE AND ONE WILL BE PROVIDED TO YOU.

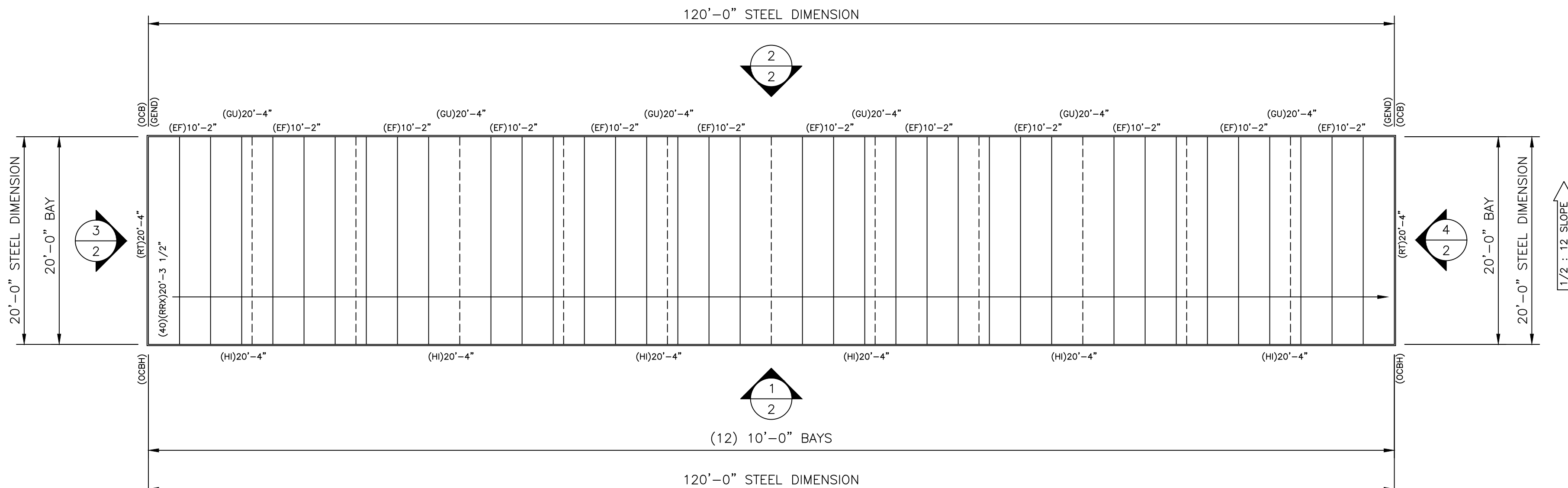
CLOSURE NOTE:
(40) INSIDE CLOSURES INCLUDED FOR LOW EAVE. INSTALL BTR TAPE ON TOP AND BOTTOM OF INSIDE CLOSURE (SEE DETAILS AND INSTALLATION GUIDE)
(54) INSIDE CLOSURES INCLUDED FOR BASE OF EXTERIOR WALL PANELS.
(14) OUTSIDE CLOSURES INCLUDED FOR RAKE.
(80) OUTSIDE CLOSURES INCLUDED FOR ROOF AND WALL OF HIGH EAVE.

SHEETING ABBREVIATIONS

(ML)	-	29GA. M-LOC WALL PANEL
(RL)	-	29GA. R-LOC WALL PANEL
(PL)	-	26GA. PANEL-LOC WALL PANEL
(RR)	-	26GA. PBR ROOF PANEL
(RW)	-	26GA. PBR WALL PANEL
(CL18)	-	24GA. CENTRAL-LOC SSR 18" ROOF PANEL
(CL24)	-	24GA. CENTRAL-LOC SSR 24" ROOF PANEL

TRIM ABBREVIATIONS

(BTR)	-	7/8" ROLL MASTIC	(N)	-	R PANEL INSIDE CORNER TRIM
(BT)	-	BASE TRIM	(JA)	-	DOOR JAMB TRIM
(CLIN)	-	R PANEL INSIDE FOAM CLOSURE	(JC)	-	DOOR JAMB COVER TRIM
(CLOUT)	-	R PANEL OUTSIDE FOAM CLOSURE	(MC)	-	DOOR MULLION COVER TRIM
(CM)	-	DOOR CORNER MULLION TRIM	(OCB)	-	OUTSIDE CORNER BOX
(DK)	-	DOWNSPOUT WITH KICK OUT	(OU)	-	R PANEL OUTSIDE CORNER TRIM
(DSS)	-	DOWNSPOUT STRAP	(PB)	-	PEAK BOX
(EF)	-	EAVE FLASHING	(REND)	-	RAKE TRIM END CAP
(FRC)	-	FORMED RIDGE CAP	(RT)	-	RAKE TRIM
(GEND)	-	GUTTER END CAP	(TI)	-	ROOF TIE IN TRIM
(GEOCEL)	-	SEALANT	(TR)	-	ROOF STEP TRANSITION FLASHING
(GSS9)	-	GUTTER HANGER STRAP	(UN)	-	FLAT RIDGE CAP
(GU)	-	GUTTER	(4SP)	-	40Z. TOUCH UP SPRAY PAINT
(HC)	-	DOOR HEAD COVER TRIM	(OCBH)	-	OUTSIDE CORNER BOX HIGH
(HE)	-	DOOR HEAD TRIM			
(HI)	-	HIGH EAVE TRIM			



KEY PLAN

scale - 1/8" = 1'-0"

NAEEM AKHTER, P.E.

10404 W 154th Street
Overland Park, KS 66221
913-685-2015
sofianaem@aol.com

CONSTRUCTION	MG	10/01/24	DATE
PRINTS ISSUED FOR	BY		

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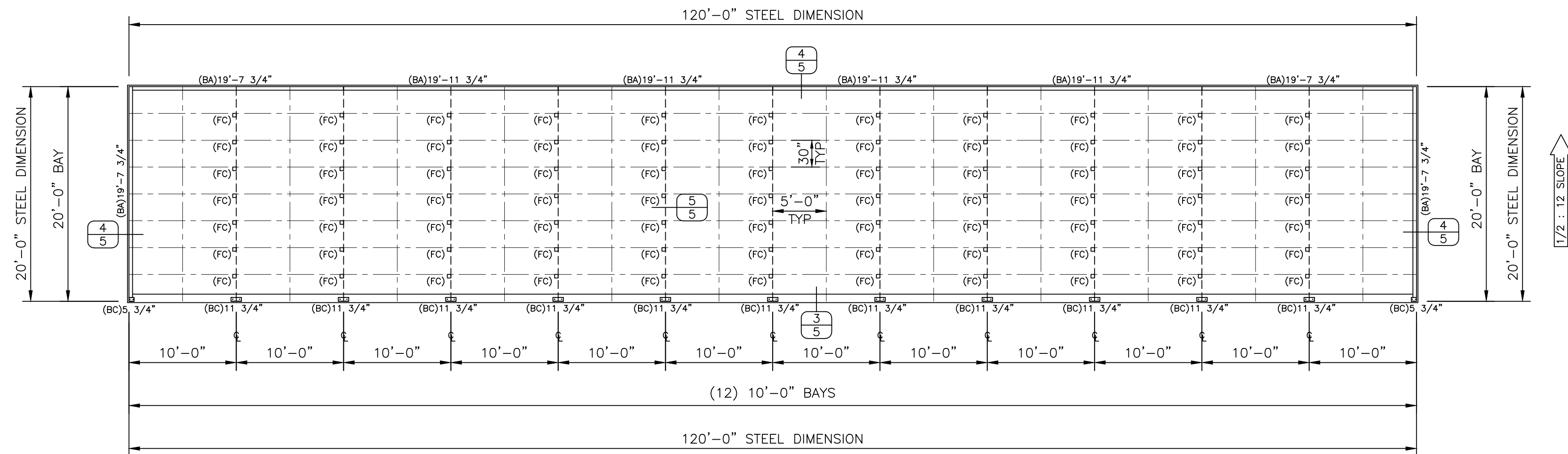
PROJECT: 20 x 120 x 8-6 HS (Bldg.05)
LOCATION: Claysburg, PA 16625

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Littleton, CO 80127
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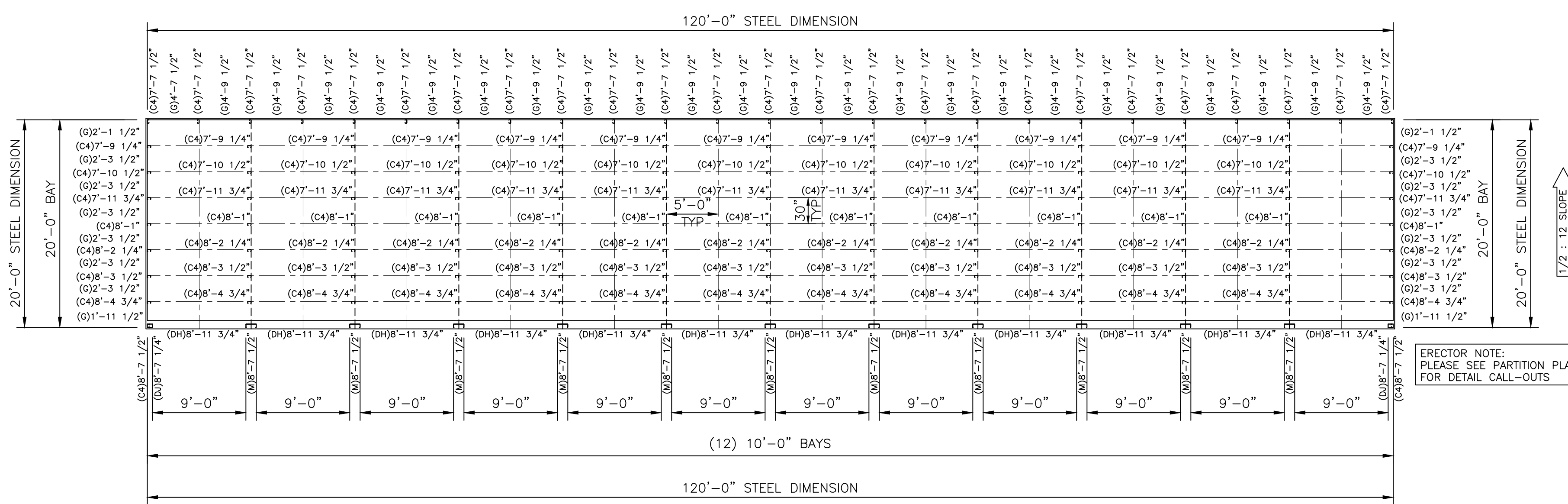
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FLOOR PLAN

scale - 1/8" = 1'-0"



ERECTOR NOTE:
PLEASE SEE PARTITION PLAN
FOR DETAIL CALL-OUTS

FRAMING PLAN

scale - 1/8" = 1'-0"



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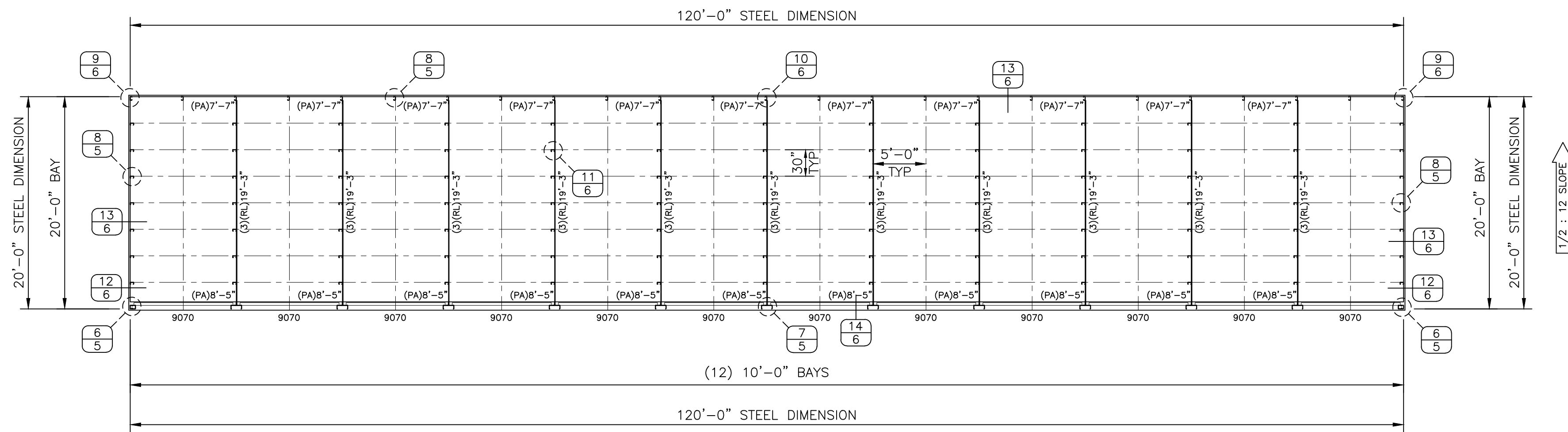
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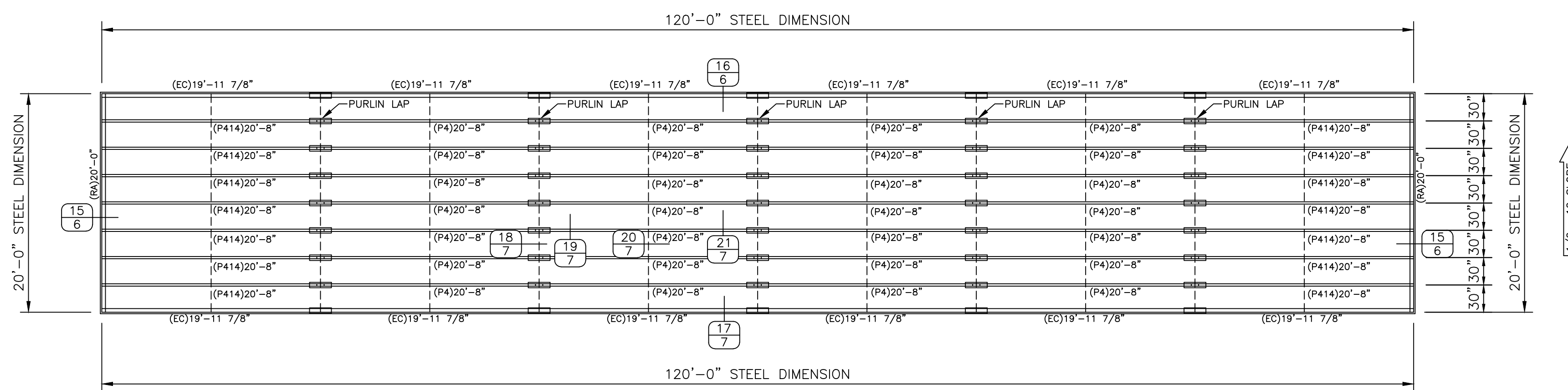
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PARTITION PLAN

scale - 1/8" = 1'-0"



ROOF PLAN

scale - 1/8" = 1'-0"



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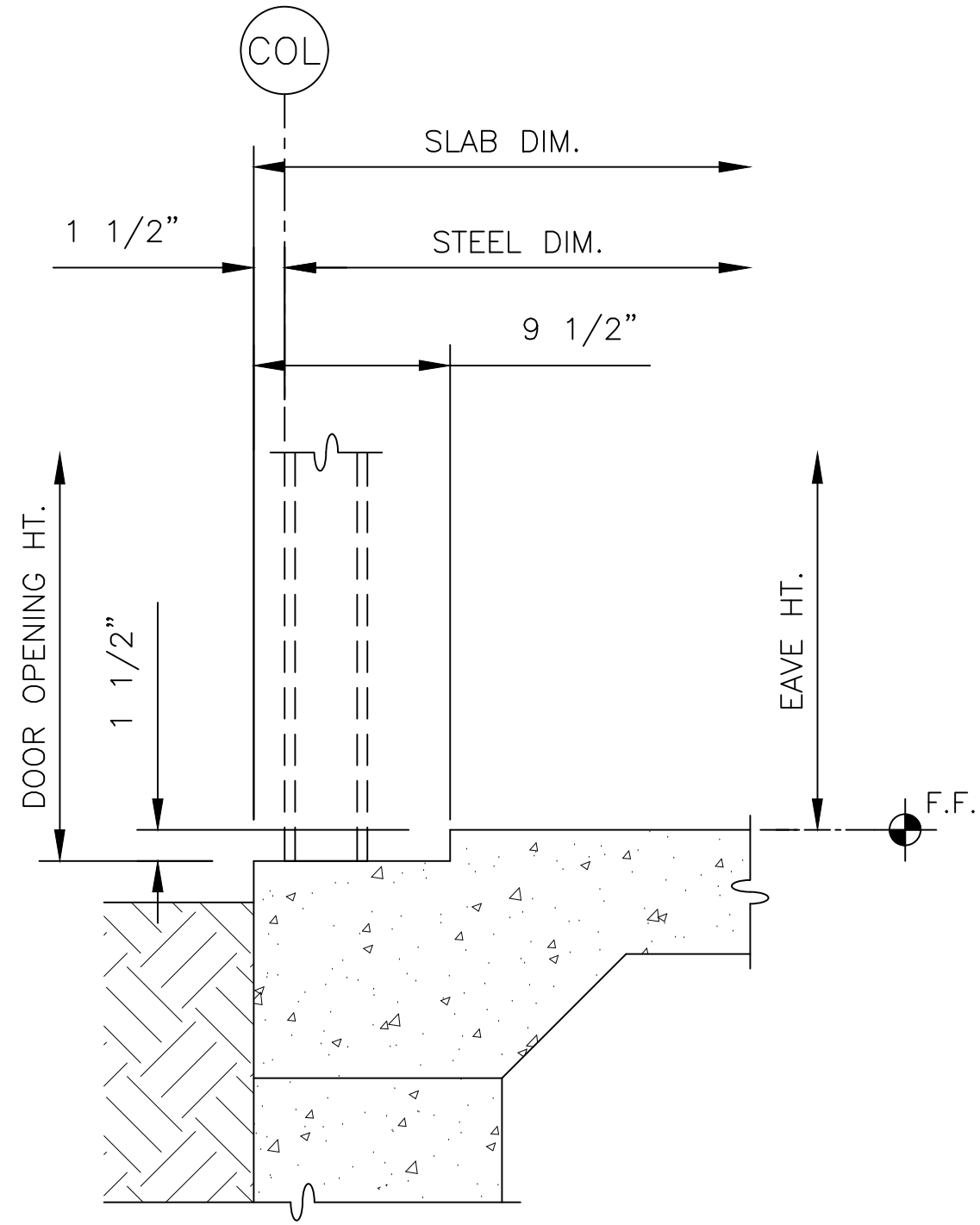
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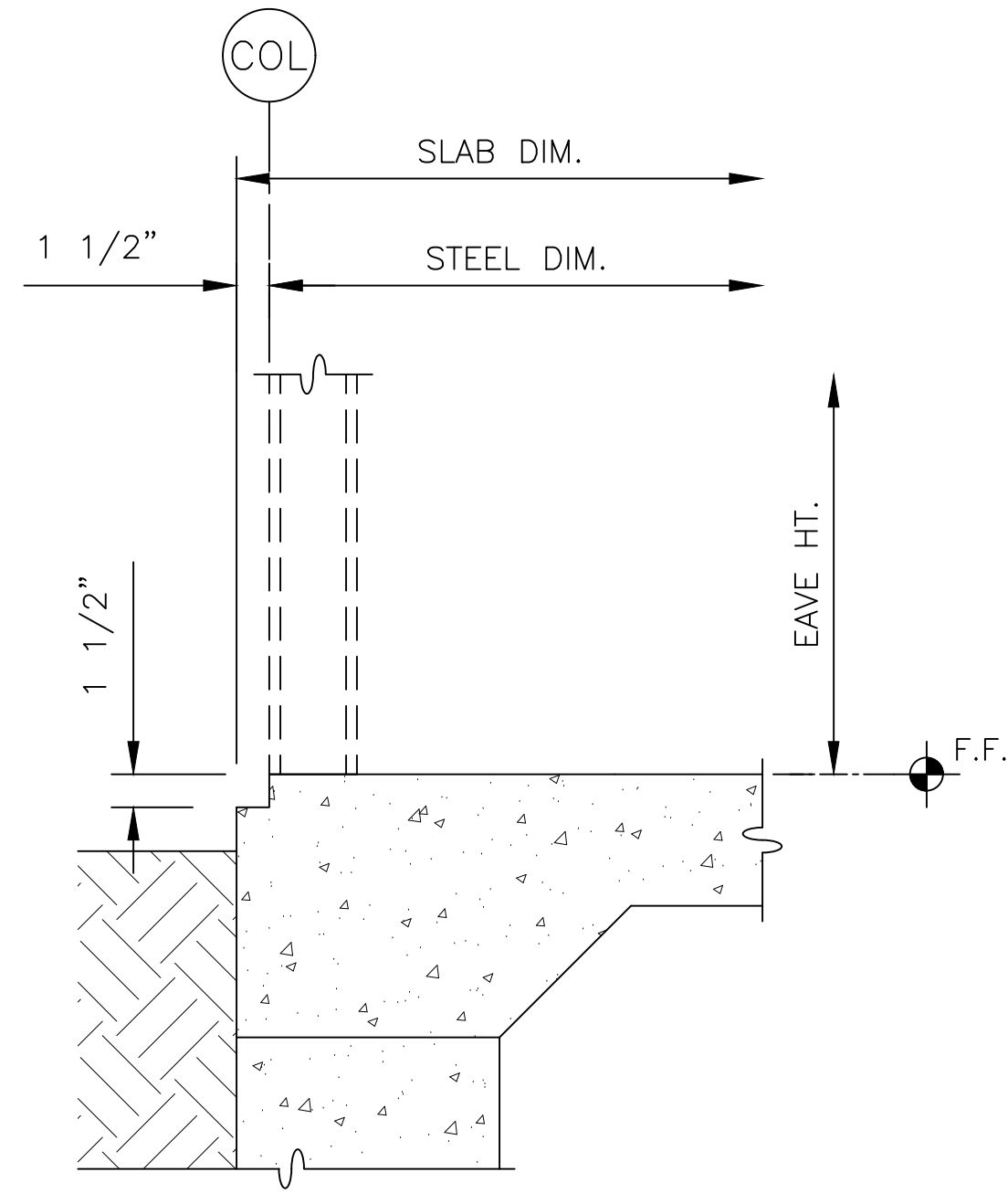
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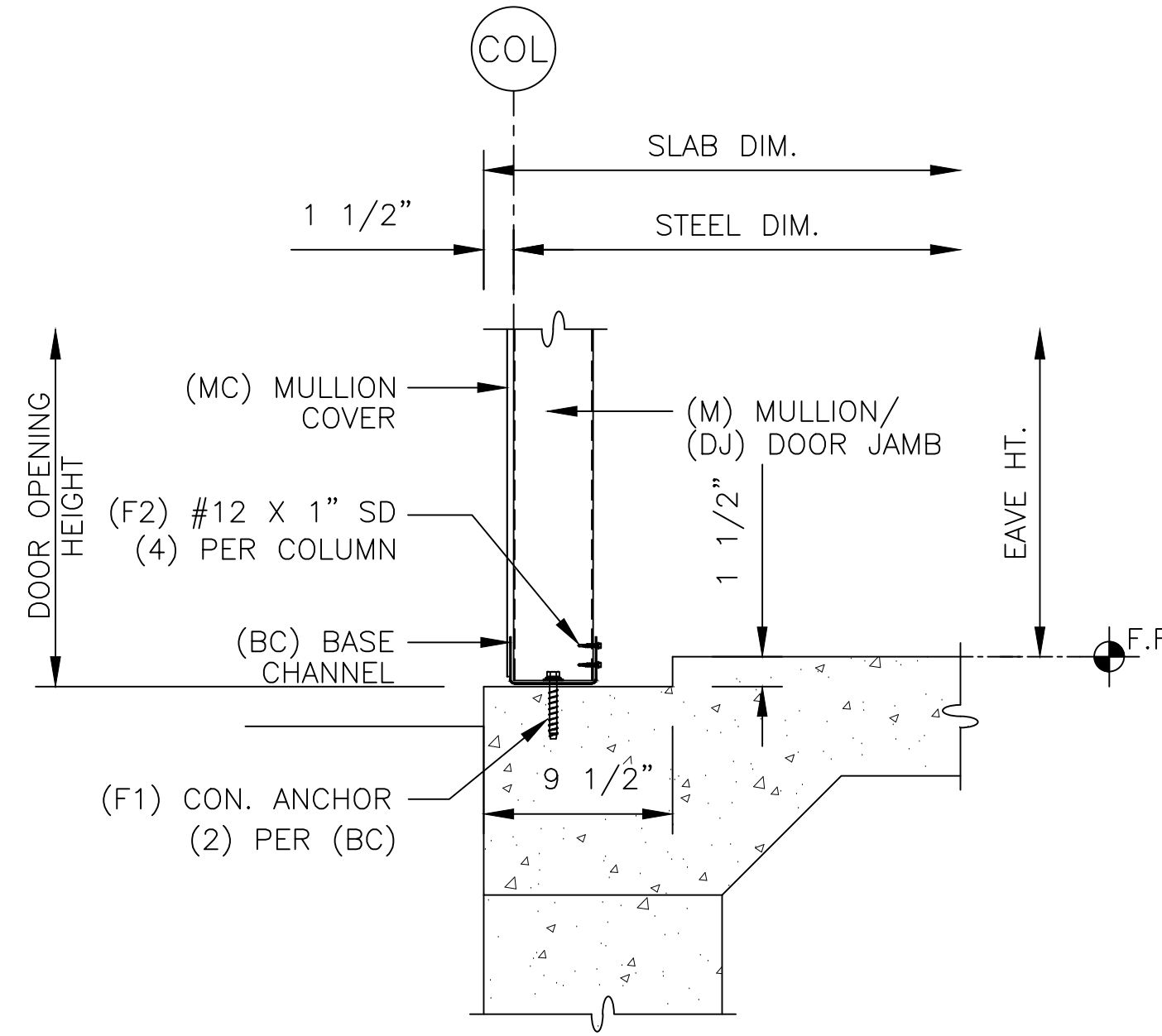
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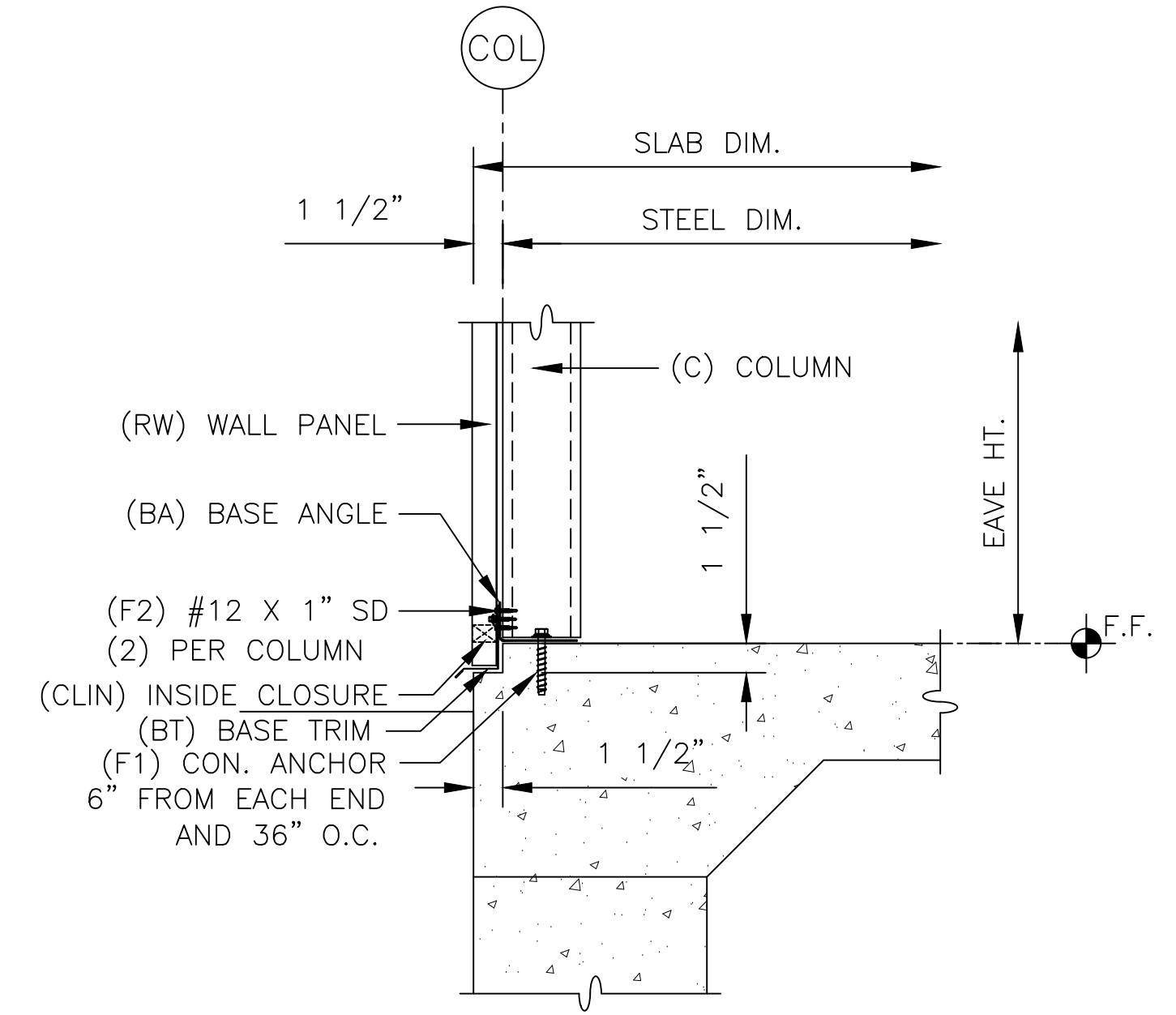
1 DOOR EDGE SLAB NOTCH
9 1/2" X 1 1/2" NOTCH



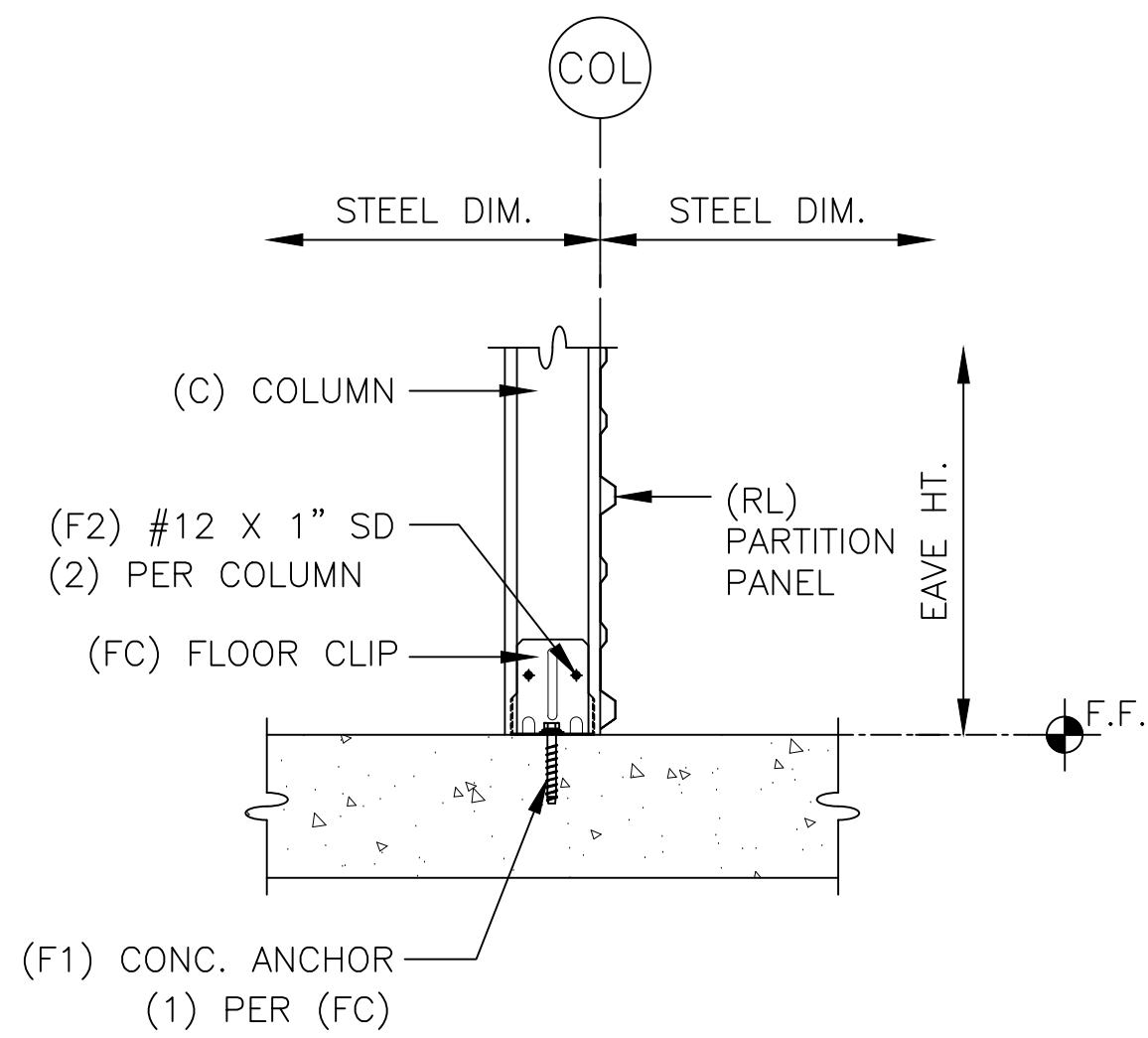
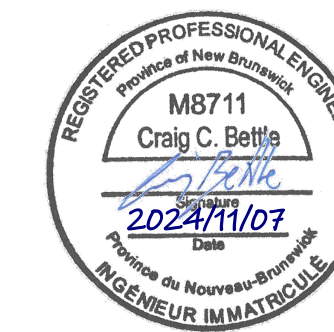
2 WALL EDGE SLAB NOTCH
1 1/2" X 1 1/2" NOTCH



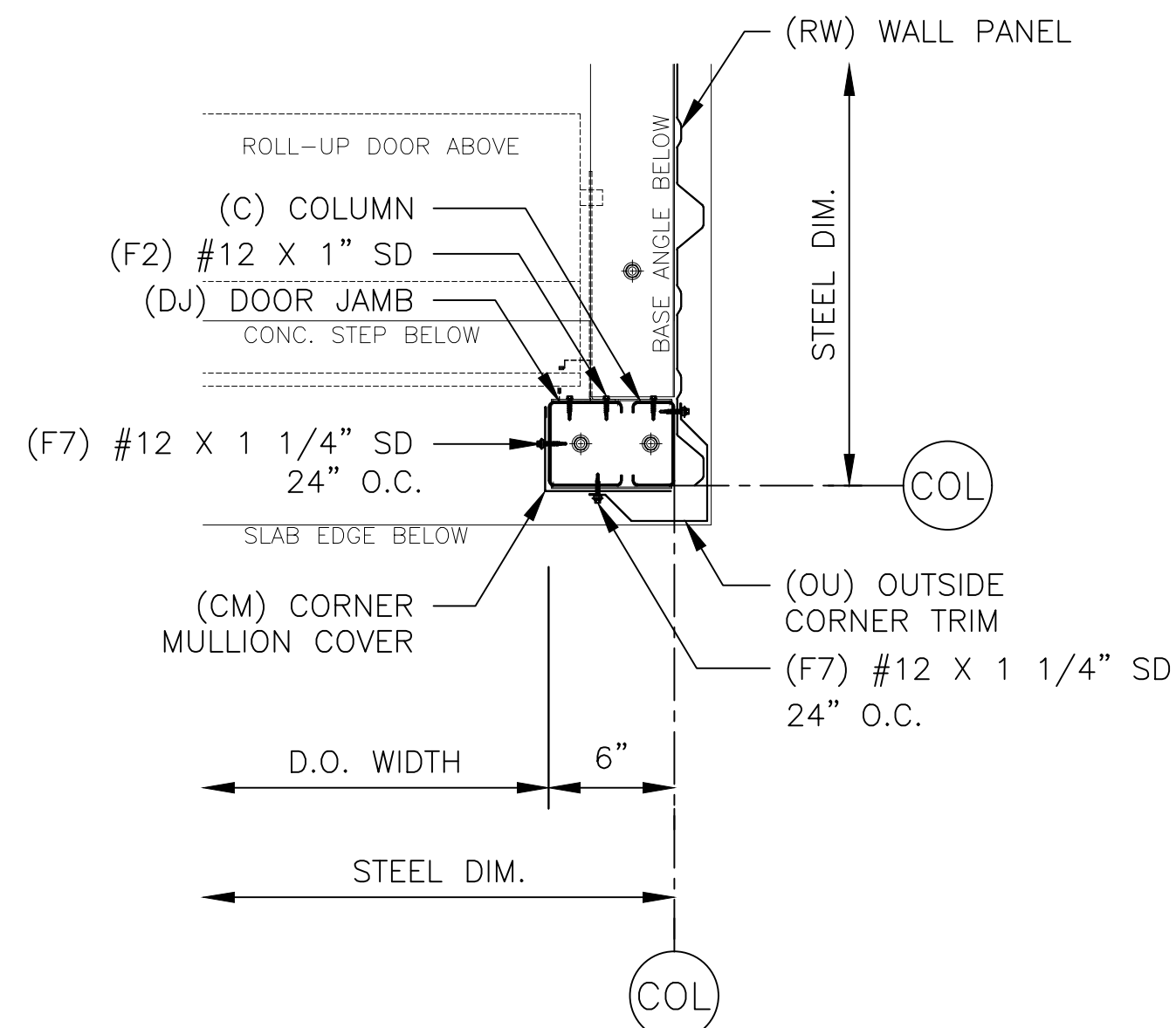
3 DOOR EDGE BASE



4 WALL EDGE BASE ANGLE

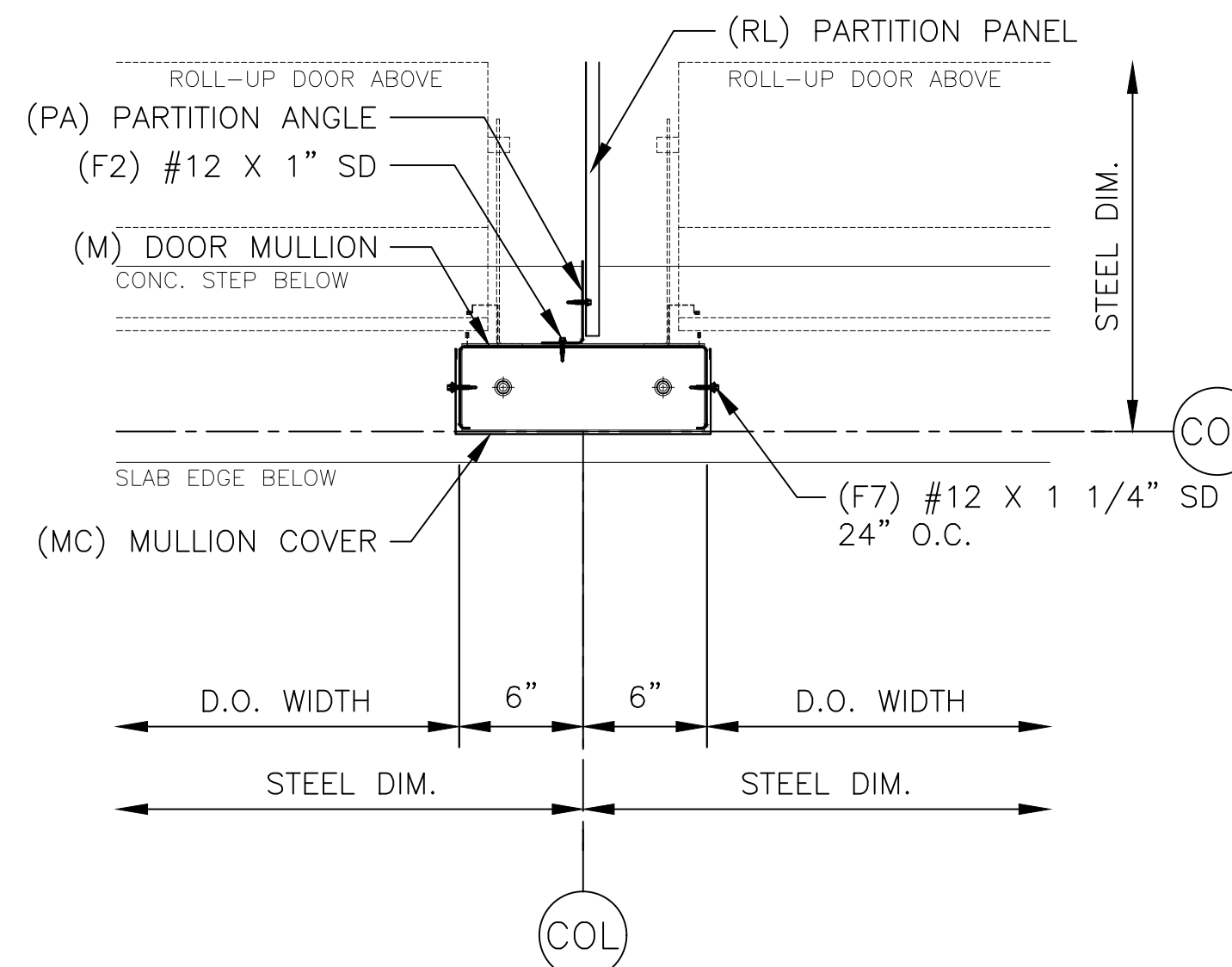


5 COLUMN FLOOR BASE CLIP



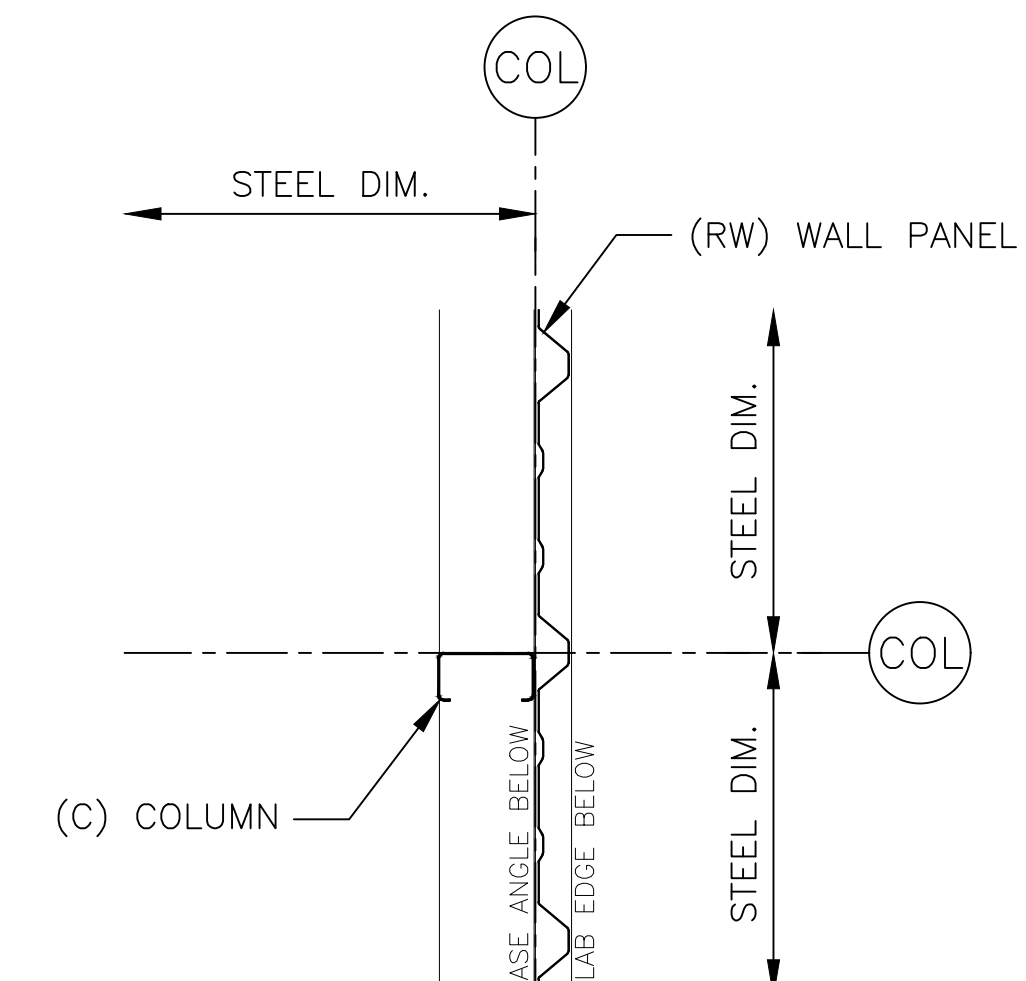
ERECTOR NOTE:
WHEN 6" CORNER OCCURS AT ENDWALL UNIT,
NOTCH EAVE CHANNEL TO CLEAR DOOR JAMB

6 DOOR JAMB - 6" CORNER



ERECTOR NOTE:
BASE CHANNEL IS 1/4" SHORTER THAN MULLION.
CENTER BASE CHANNEL ON CENTERLINE OF BAY.

7 DOOR MULLION



8 WALL

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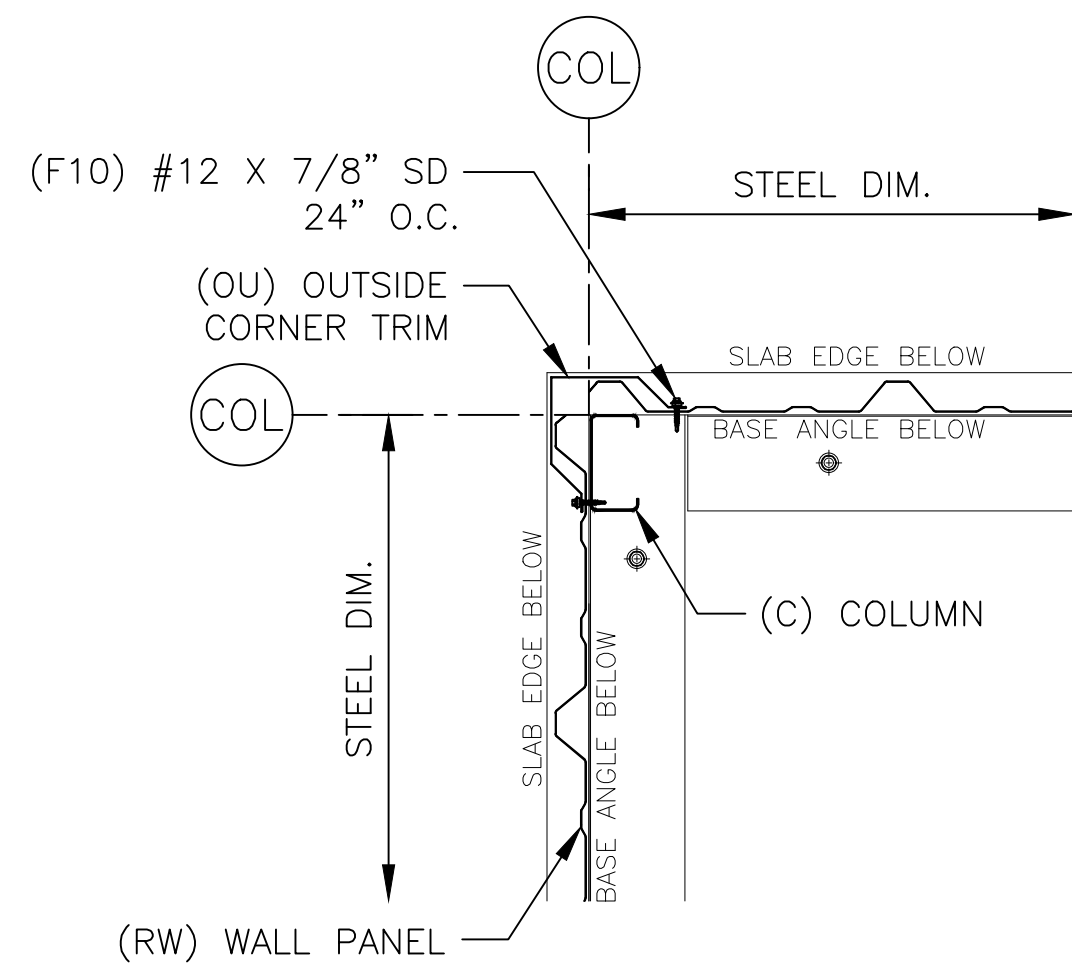
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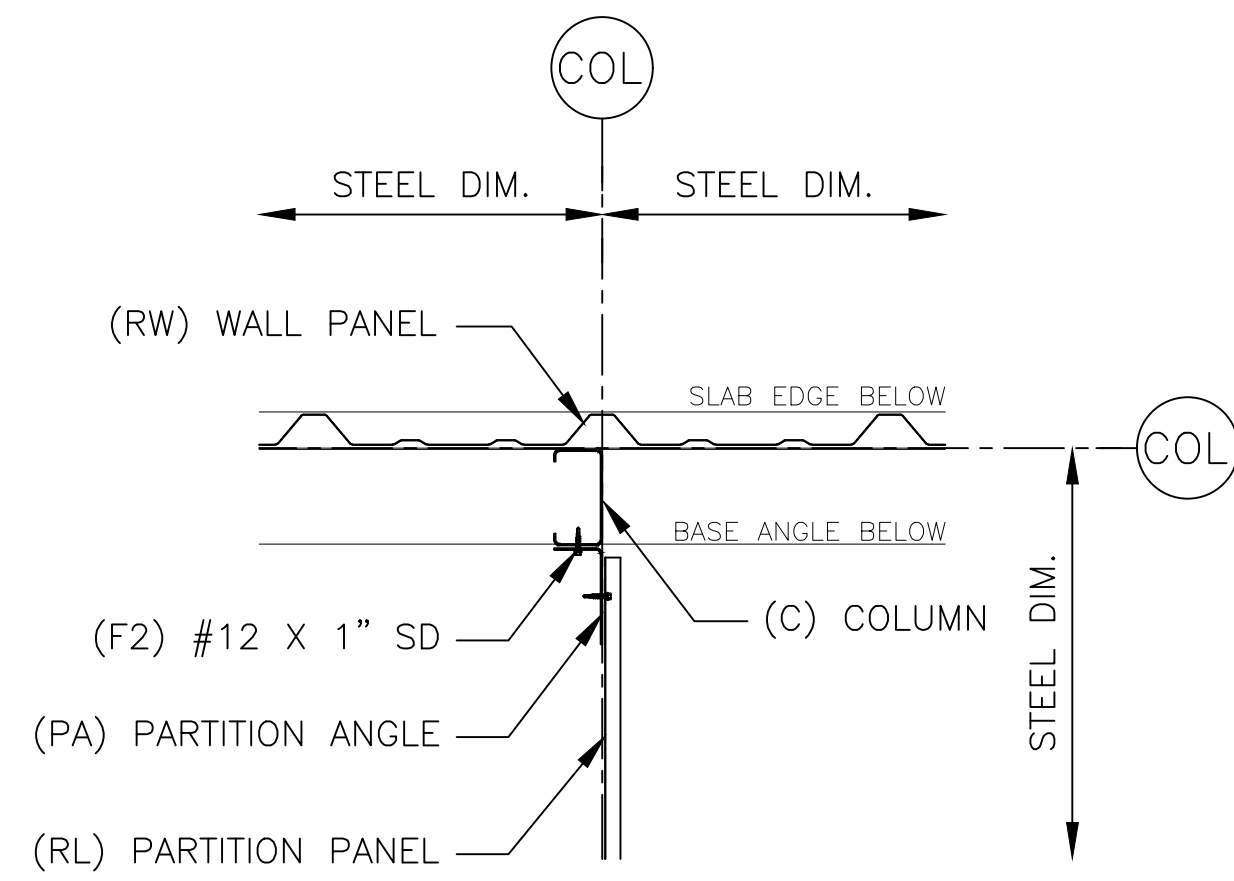
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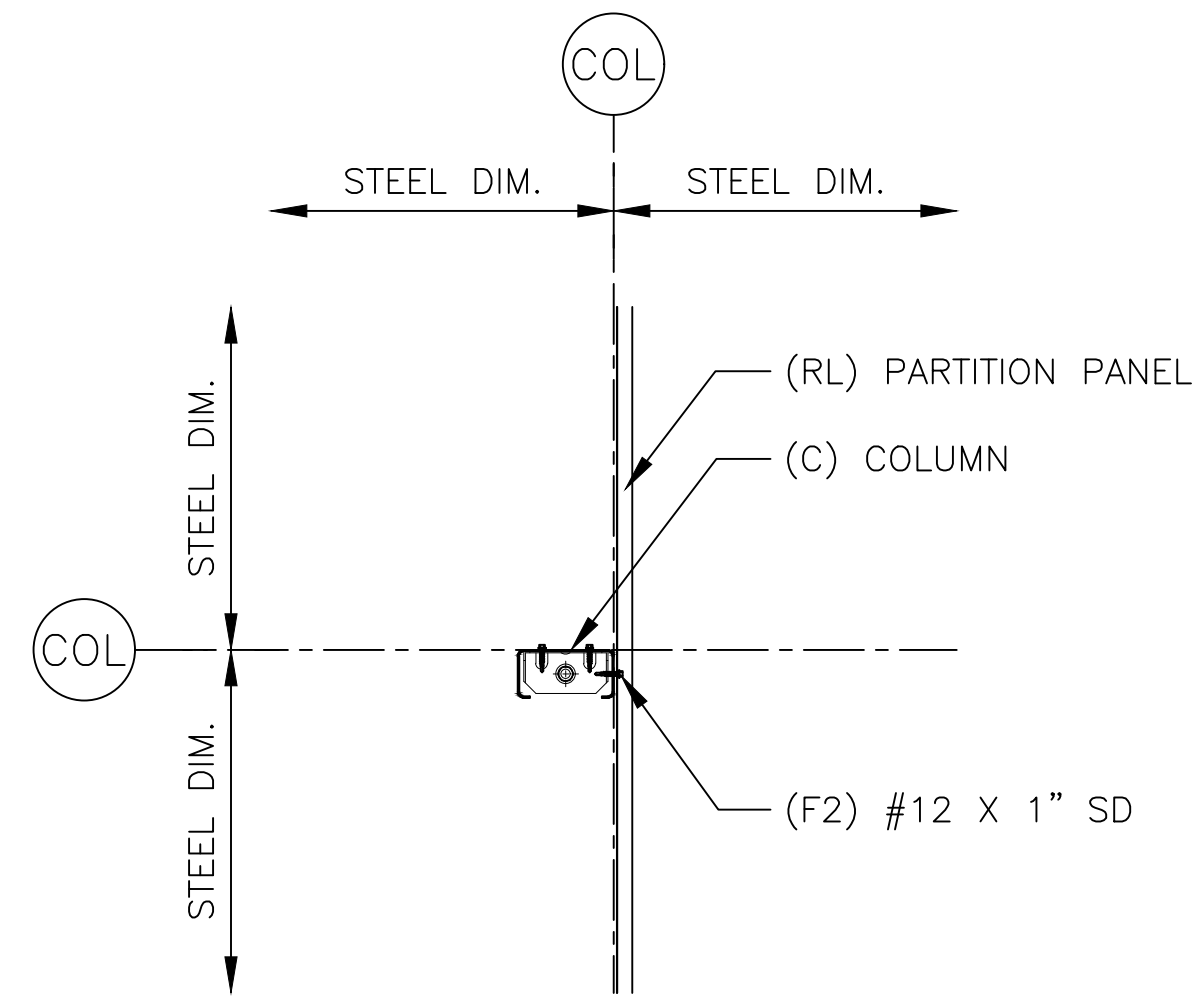
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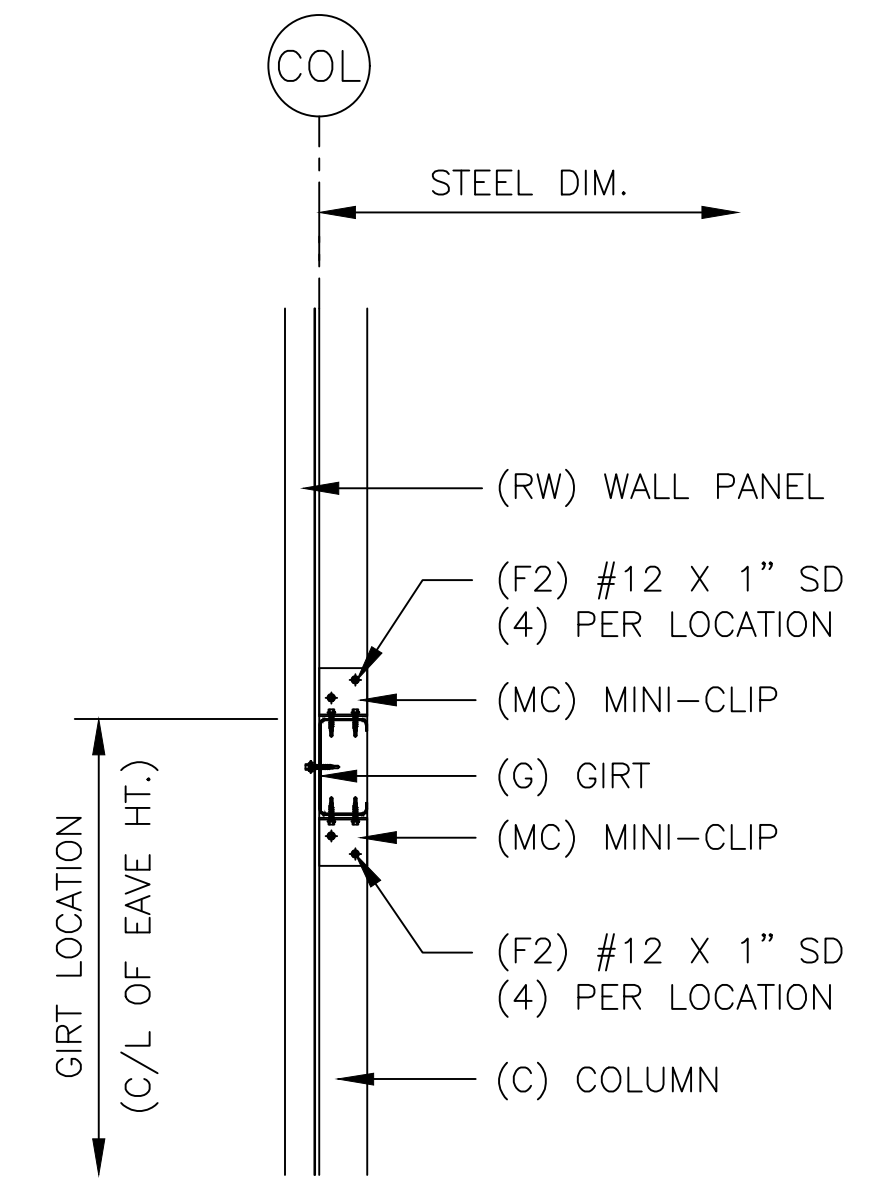
9 OUTSIDE CORNER



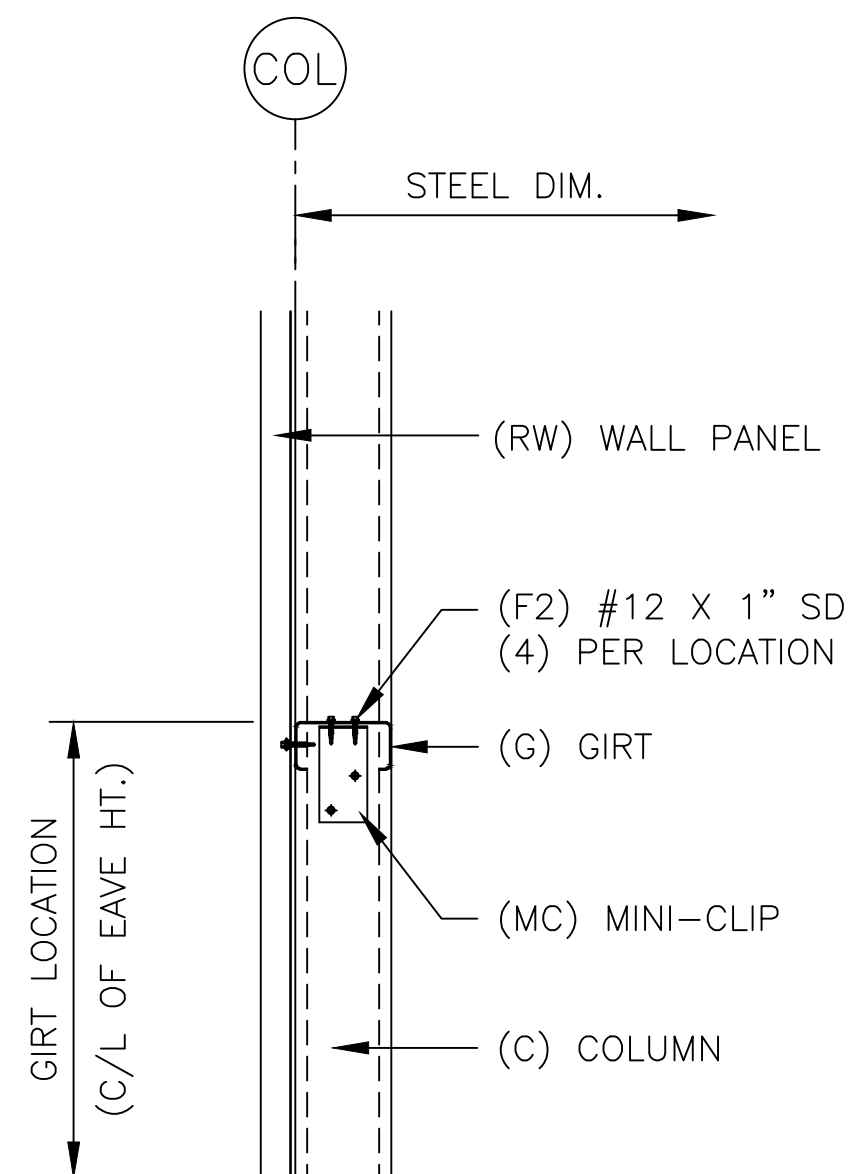
10 WALL WITH PARTITION



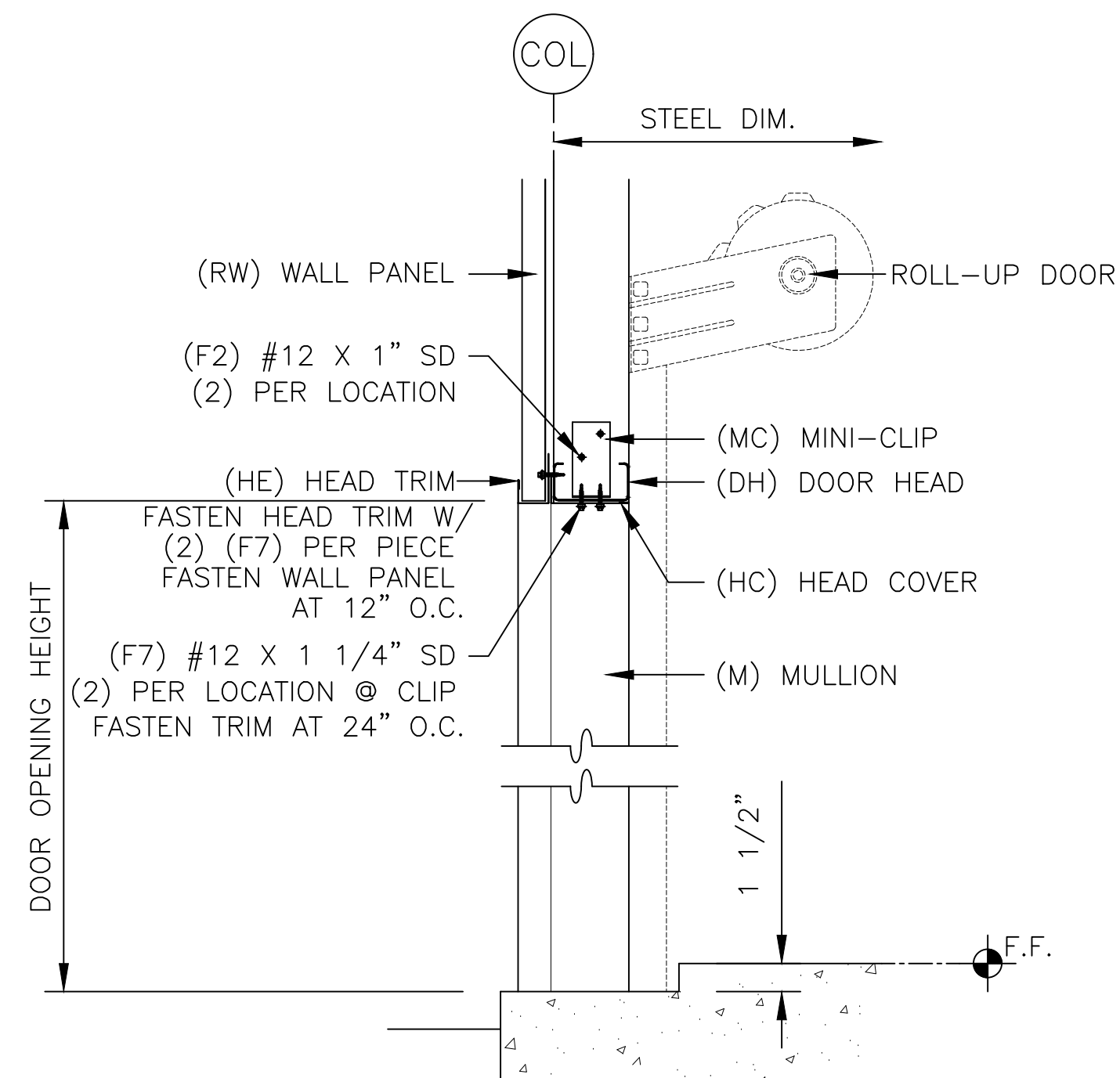
11 COLUMN CLIP



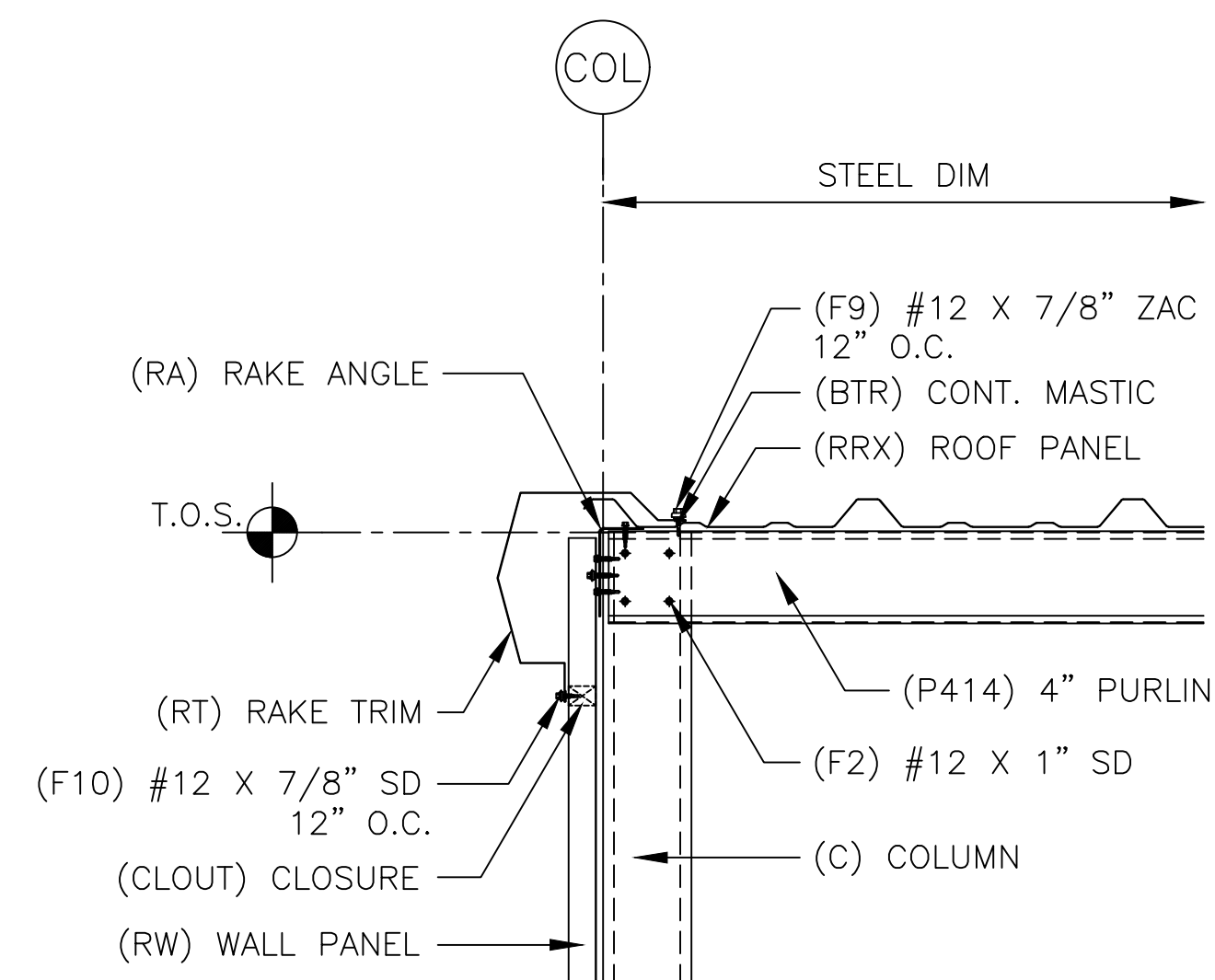
12 GIRT AT 6" JAMB



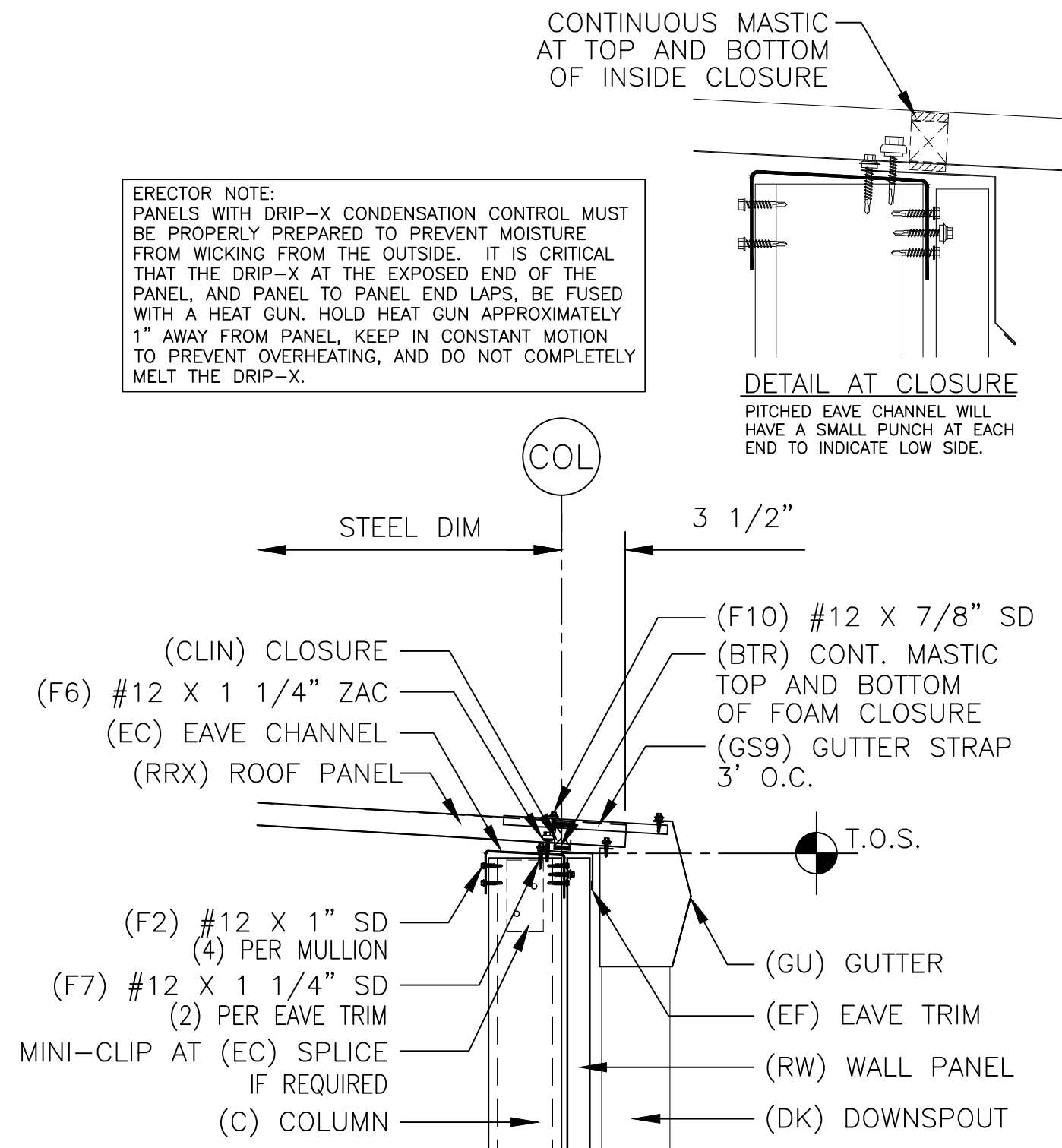
13 TYPICAL GIRT



14 DOOR HEAD

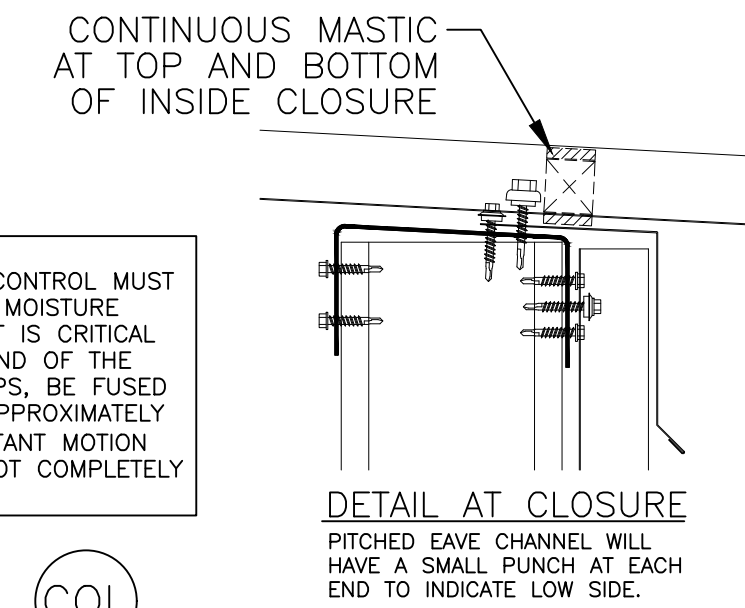


15 RAKE - 4" PURLIN



16 LOW EAVE WITH GUTTER

ERECTOR NOTE:
PANELS WITH DRIP-X CONDENSATION CONTROL MUST BE PROPERLY PREPARED TO PREVENT MOISTURE FROM WICKING FROM THE OUTSIDE. IT IS CRITICAL THAT THE DRIP-X AT THE EXPOSED END OF THE PANEL, AND PANEL TO PANEL END LAPS, BE FUSED WITH A HEAT GUN. HOLD HEAT GUN APPROXIMATELY 1" AWAY FROM PANEL. KEEP IN CONSTANT MOTION TO PREVENT OVERHEATING, AND DO NOT COMPLETELY MELT THE DRIP-X.



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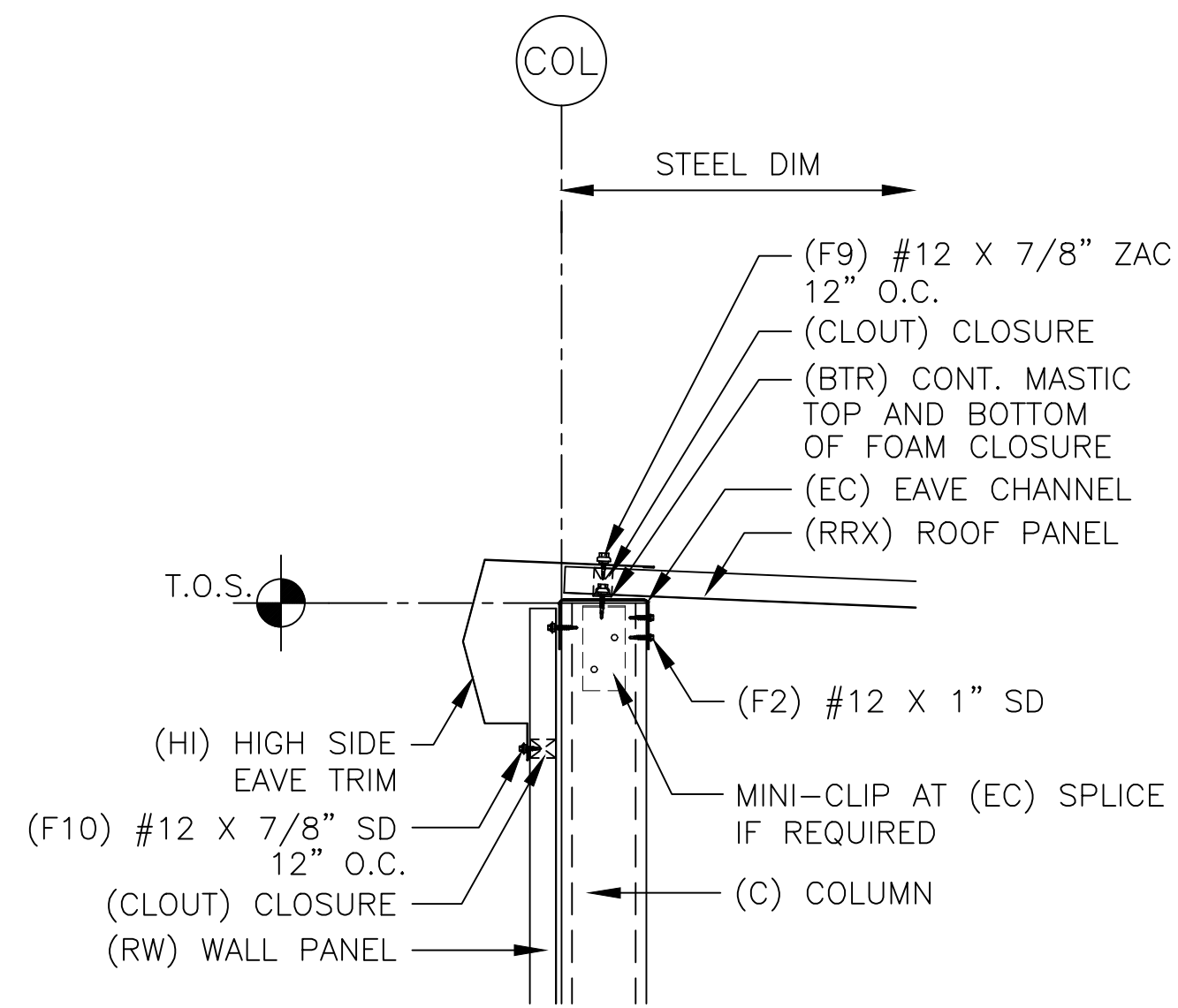
PROJECT: 20 x 120 x 8-6 HS (Bldg.05)
LOCATION: Claysburg, PA 16625

REGENCY Storage Systems
Mini Storage Units
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Littleton, CO 80127
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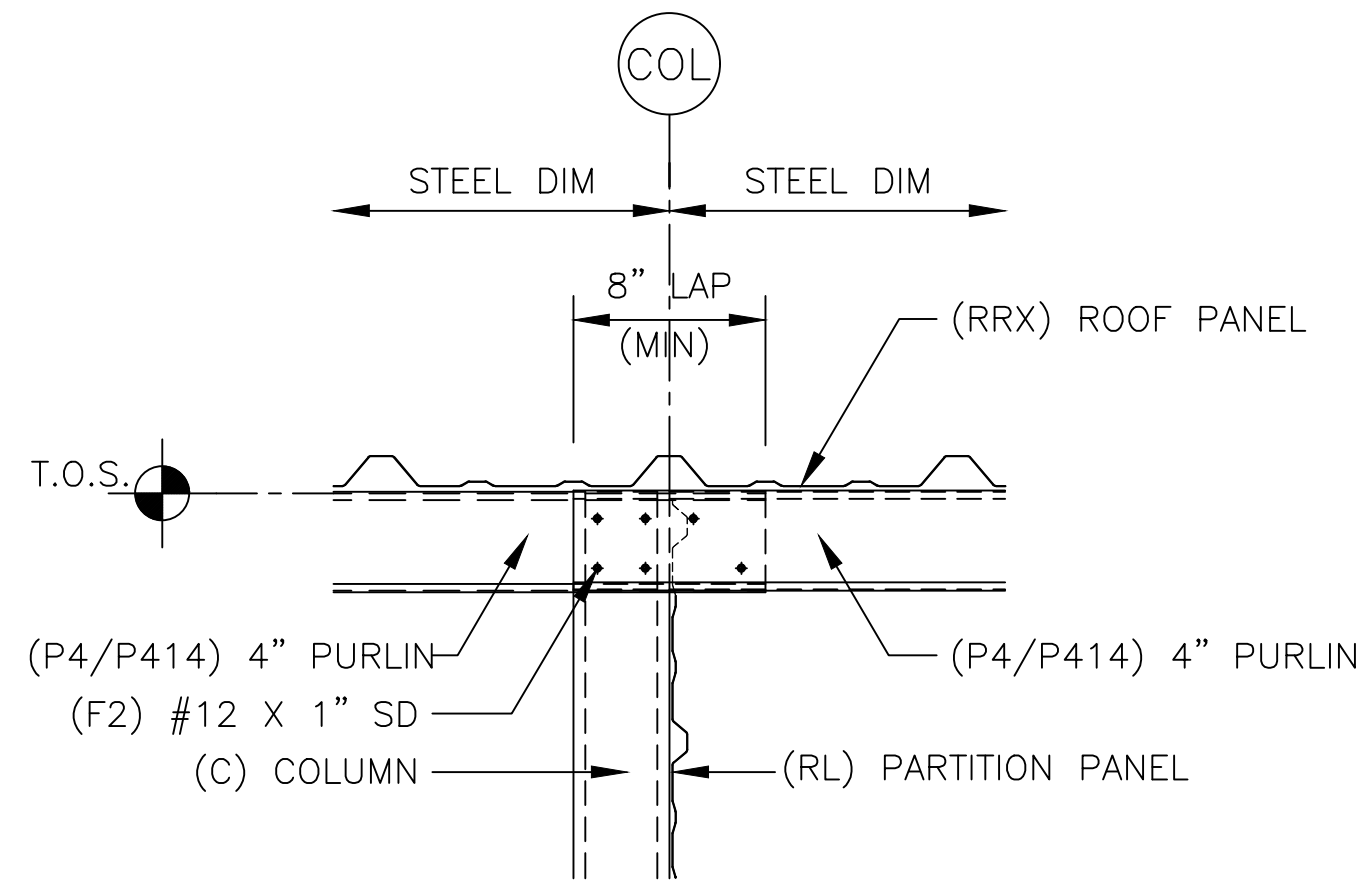
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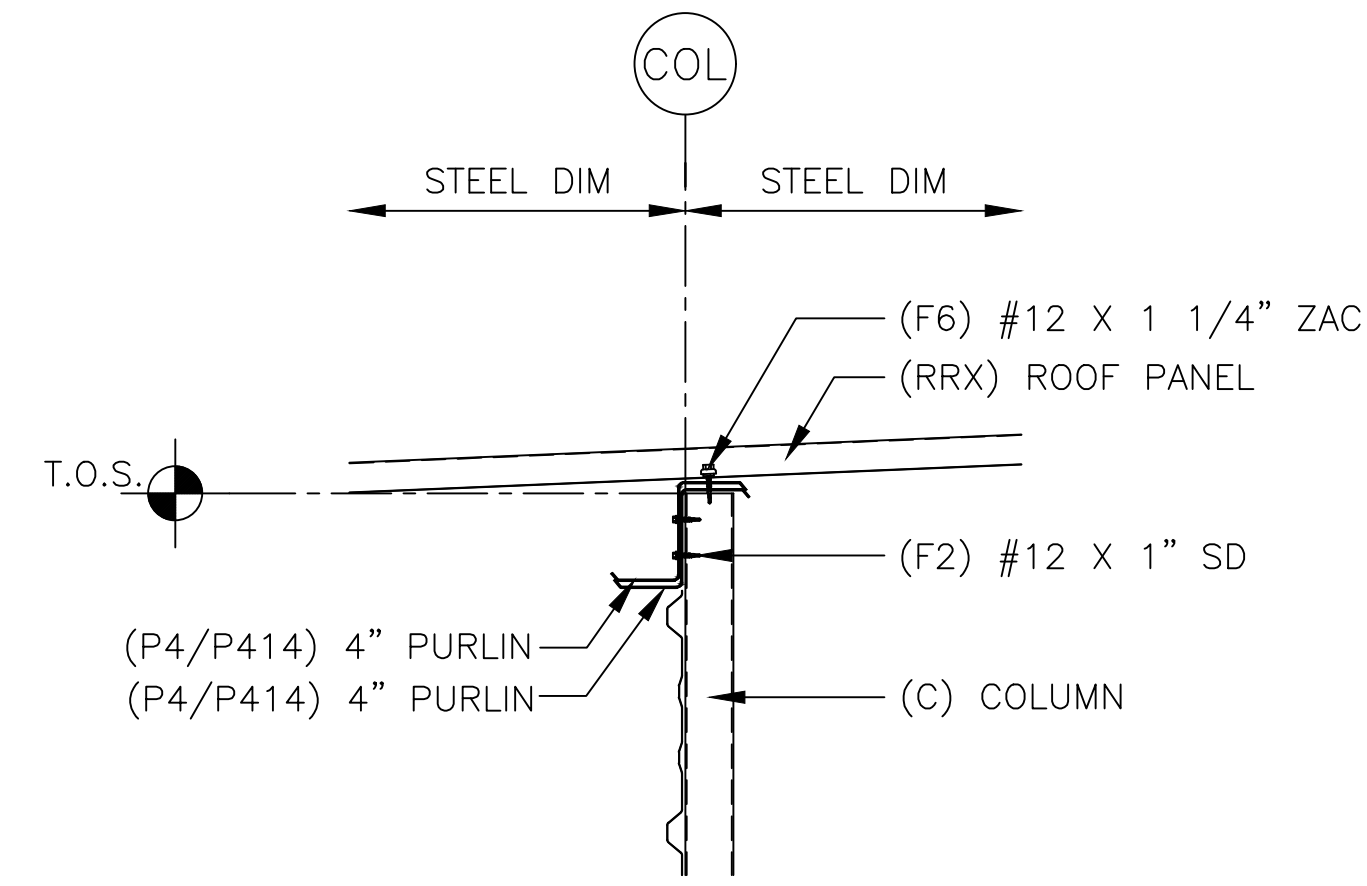
6 of 7



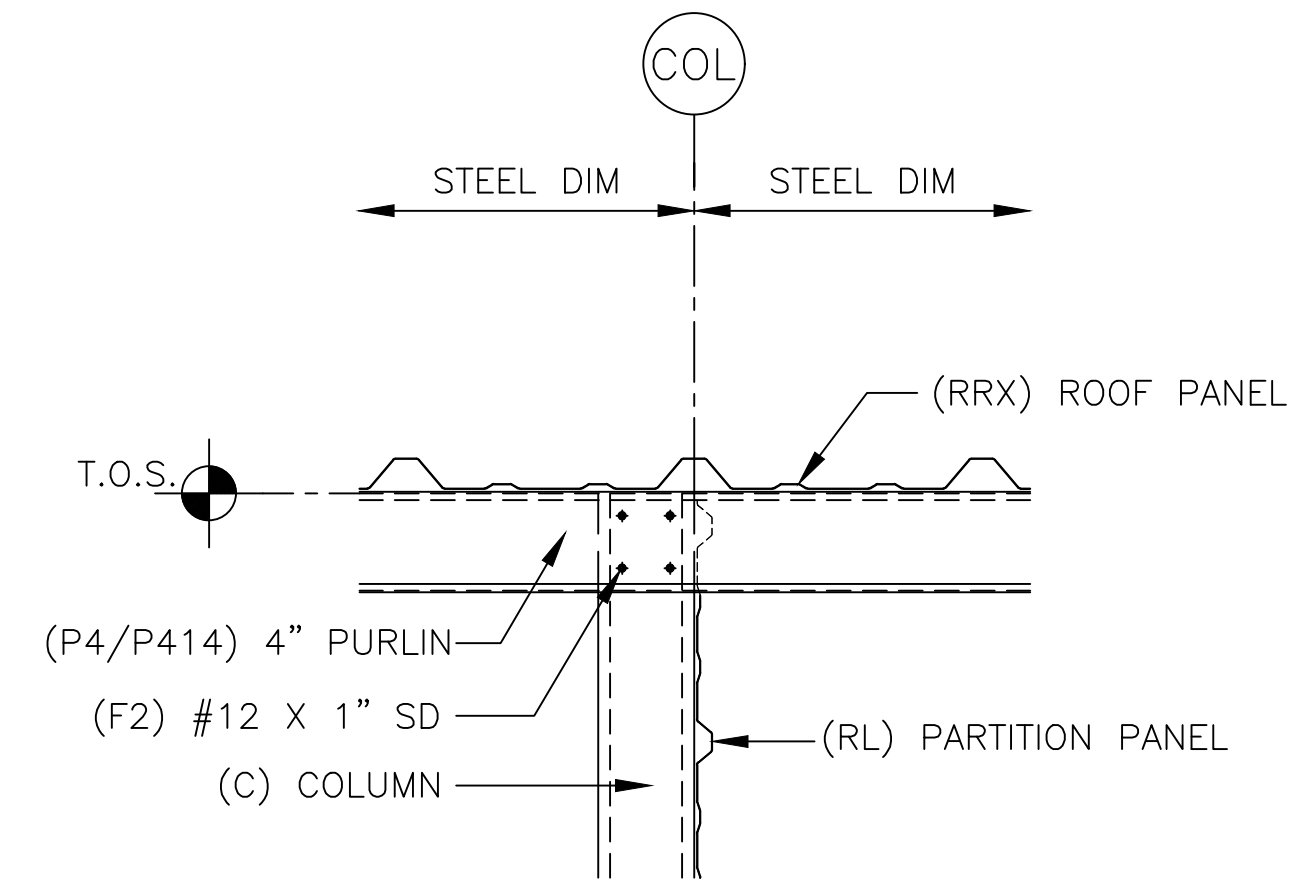
17 HIGH EAVE



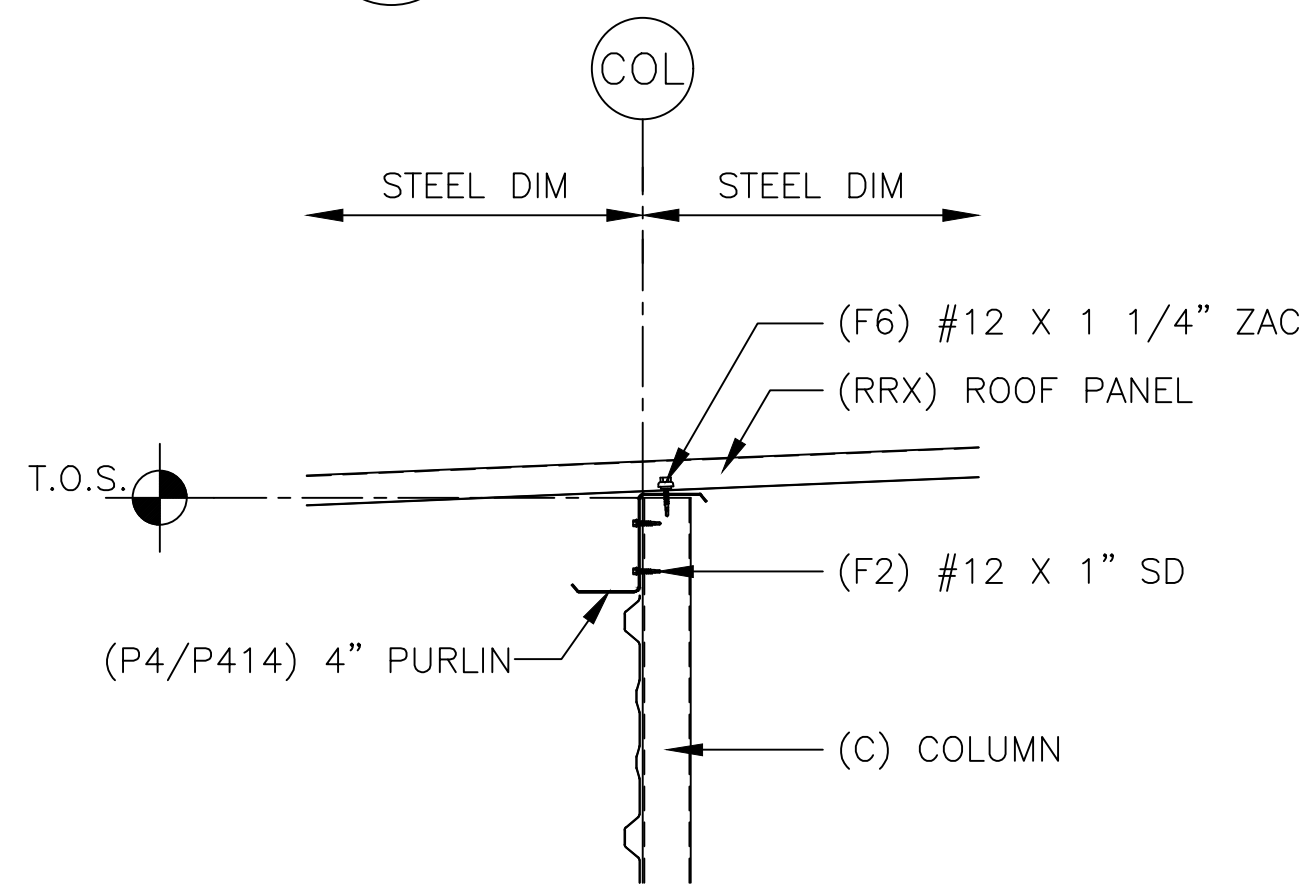
18 4" PURLIN LAP SIDE



19 4" PURLIN LAP SECTION



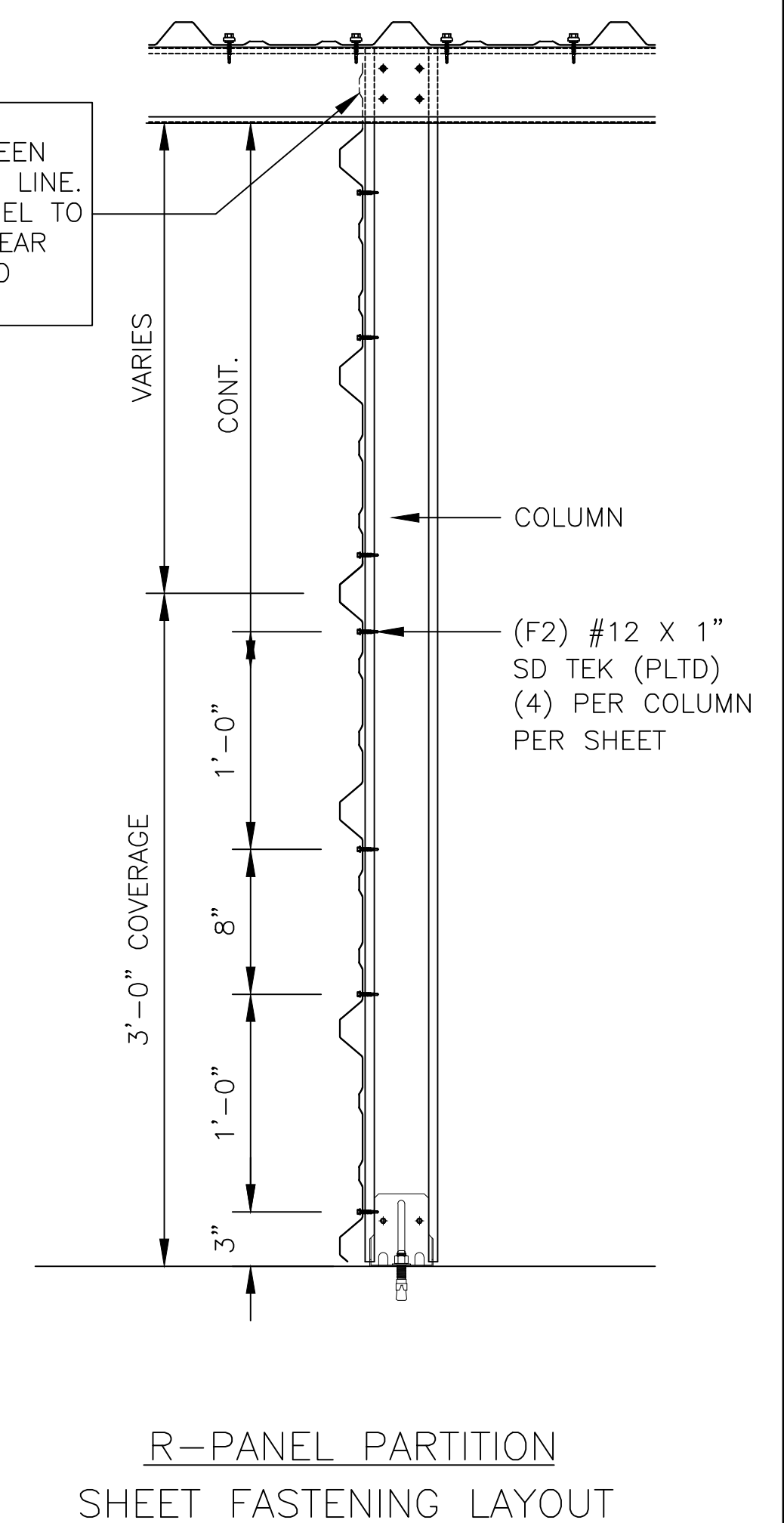
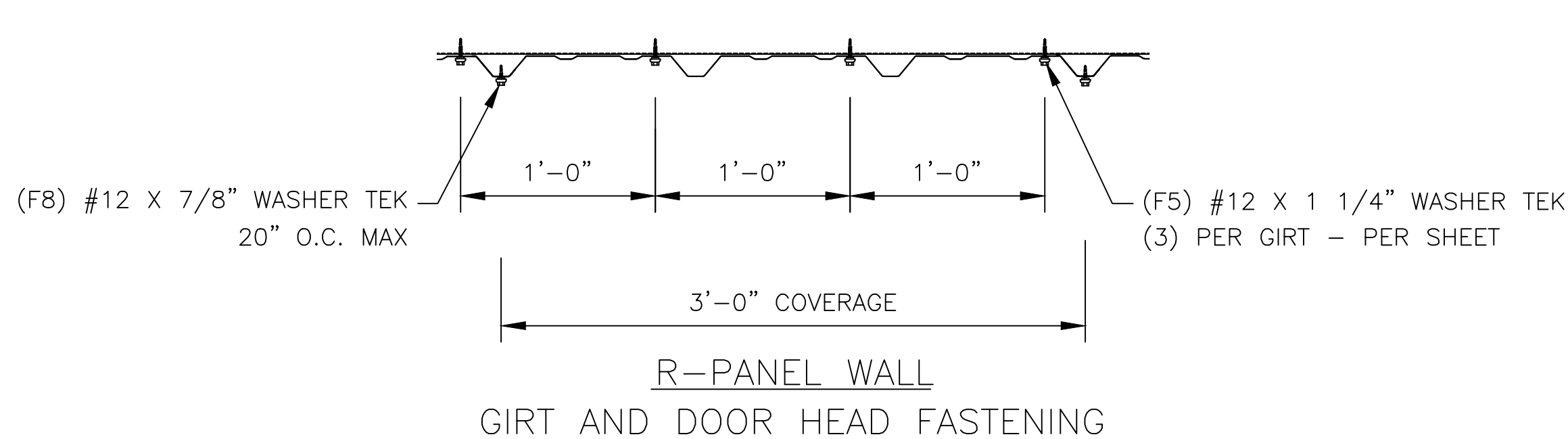
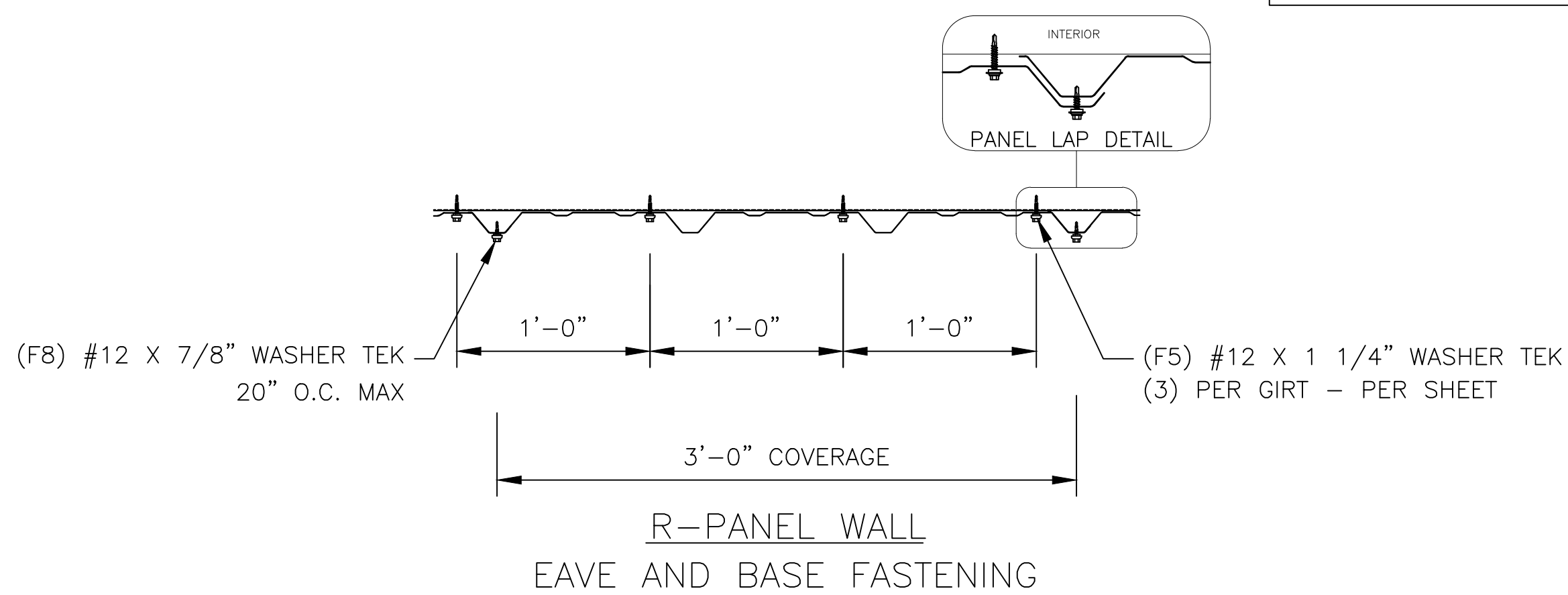
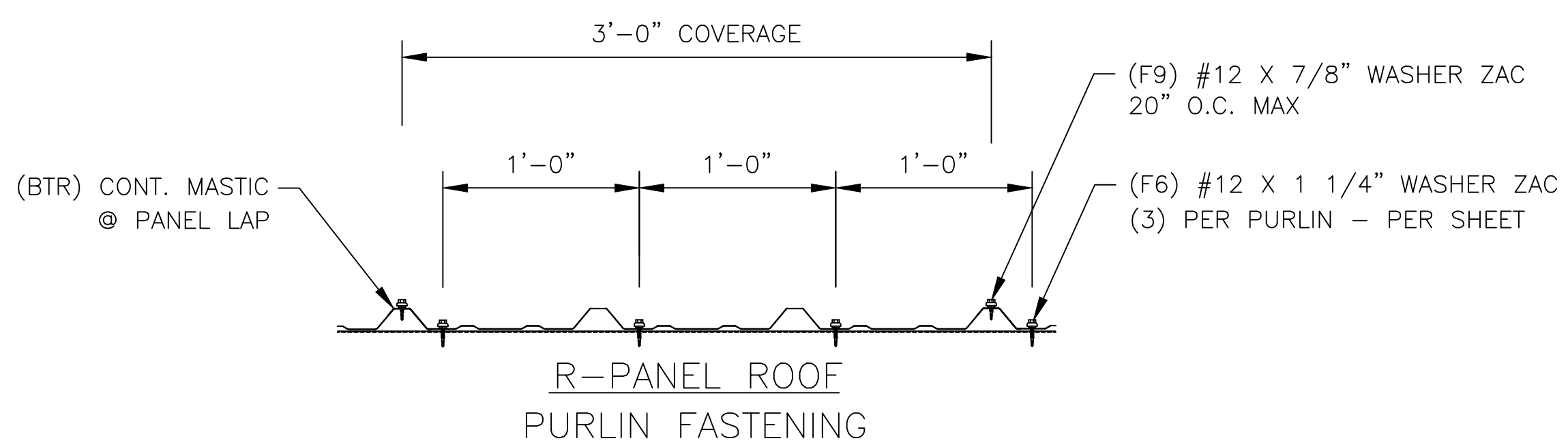
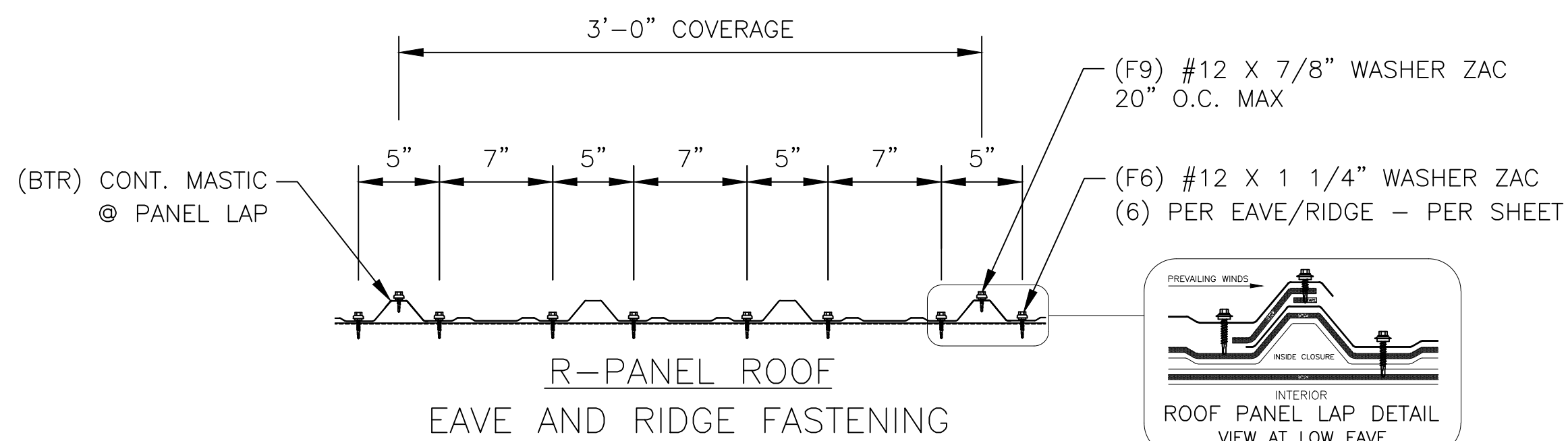
20 4" PURLIN SIDE



21 4" PURLIN SECTION



ERECTOR NOTE:
PARTITION PANELS HAVE BEEN SUPPLIED TO REACH ROOF LINE. NOTCH TOP PARTITION PANEL TO MATCH ROOF LINE AND CLEAR PURLIN LEG AS NEEDED TO CLOSE IN THE UNIT.



DATE	10/01/24
BY	MS
FOR	CONSTRUCTION
PRINTS	ISSUED

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Site Photos





NO
TRUCKS

STOP

STOP
AUTOMATIC GATE
CLOSURE IN 30 SECONDS





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Climate Controlled
24-Hour Access
Pest Free & Clean
Professional Staff

517

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